
CITY OF KELOWNA
MEMORANDUM

DATE: October 29, 2008
FILE NO.: DP07-0261/DVP08-0212

TO: City Manager

FROM: Community Sustainability Division

DEVELOPMENT PERMIT APPLICATION NO. DP07-0261 OWNER: P216 ENTERPRISES LTD.,
P218 ENTERPRISES LTD.,
WAYNE HOLDINGS LTD, &
602033 BC LTD.
DEVELOPMENT VARIANCE PERMIT APPLICATION NO. DVP08-0212

AT: 2970-2974, 2978, 3000, 3006, **APPLICANT:** BUSBY PERKINS & WILL
3010 & 3030 PANDOSY ST, &
475 GROVES AVE.

PURPOSE: DEVELOPMENT PERMIT APPLICATION TO AUTHORIZE DEVELOPMENT OF A 16,990 M² MIXED USE DEVELOPMENT COMPRISED OF A 2 STOREY PODIUM WITH 4 STOREY TOWNHOUSE BUILDING AND 9 STOREY APARTMENT BUILDING ON TOP

DEVELOPMENT VARIANCE PERMIT APPLICATION TO VARY MAXIMUM SITE COVERAGE FROM 70% PERMITTED TO 77% PROPOSED AND VARY BUILDING HEIGHT FROM 25.0 m 7 STOREYS PERMITTED TO 36.5 m 11 STOREYS PROPOSED.

EXISTING ZONE: C4 – URBAN CENTRE COMMERCIAL (as amended TA07-0007)

REPORT PREPARED BY: PAUL McVEY

1.0 RECOMMENDATION

THAT Final Adoption of Zone Text Amending Bylaw No. 10038 be considered by Council;

AND THAT Council authorize the issuance of Development Permit No. DP07-0261 for Lot A, DL 14, O.D.Y.D., Plan 4645 Exc. Plan KAP 59138; Lot B, DL 14, O.D.Y.D., Plan 4645 Exc. Plan KAP 59433; Lot C, DL 14, O.D.Y.D., Plan 4645; The N ½ Lot 19, DL 14, O.D.Y.D., Plan 2708 Exc. Plan KAP 59386; Lot 2, Sec. 13, Twp. 25, O.D.Y.D., Plan 4373 Exc. Plan KAP 59139; Strata Lots 1 & 2, Sec. 13, Twp. 25, O.D.Y.D., Strata Plan KAS2226 together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1; Lot 1, DL 14, O.D.Y.D., Plan 3226 Exc. Plan KAP 59400, located on Pandosy Street & Groves Avenue, Kelowna, B.C. subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;
5. The applicant be required to execute a suitable Housing Agreement for Affordable housing;
6. The applicant registering a plan of subdivision at the Land Titles Office for the consolidation of the subject properties and dedication of required road widenings

AND FURTHER THAT the applicant be required to complete the above-noted conditions within 180 days of Council approval of the development permit application in order for the permit to be issued.

AND THAT Council authorize the issuance of Development Variance Permit No. DVP08-0212; Lot A, DL 14, O.D.Y.D., Plan 4645 Exc. Plan KAP 59138; Lot B, DL 14, O.D.Y.D., Plan 4645 Exc. Plan KAP 59433; Lot C, DL 14, O.D.Y.D., Plan 4645; The N ½ Lot 19, DL 14, O.D.Y.D., Plan 2708 Exc. Plan KAP 59386; Lot 2, Sec. 13, Twp. 25, O.D.Y.D., Plan 4373 Exc. Plan KAP 59139; Strata Lots 1 & 2, Sec. 13, Twp. 25, O.D.Y.D., Strata Plan KAS2226 together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form 1; Lot 1, DL 14, O.D.Y.D., Plan 3226 Exc. Plan KAP 59400, located on Pandosy Street & Groves Avenue, Kelowna, B.C.;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 14.4.5(b) **Development Regulations** – vary maximum site coverage from 75% permitted to 77% proposed,

Section 14.4.5(c) **Development Regulations** – vary maximum building height from 25.0m or 7 storeys permitted to 36.5 m or 11 storeys proposed.

2.0 SUMMARY

The applicant is proposing to develop the subject properties with a 16,990m² "mixed-use" development which is comprised of a 2 storey commercial podium with an internal court yard area constructed over an underground parking garage. The podium is divided into a south portion and a north portion by a public plaza area. On top of this podium is two rows of stacked townhouse units that are up to 4 storeys in height (6 storeys above grade), oriented parallel to Pandosy Street over the southern portion of the podium. At the north end of the podium adjacent to Groves Avenue, there is a 9 storey (11 storeys above grade) apartment building designed in an "H" configuration. The proposed development is designed to create 87 residential units and 20 office and retail (commercial) units. The applicant is proposing to utilize density bonus provisions to the C4 – Urban Centre Commercial zone which were added to the C4 zone as part of this development proposal.

2.1 Advisory Planning Commission

The above noted application (TA07-0007) was reviewed by the Advisory Planning Commission at the meeting of December 18, 2007 and the following recommendation was passed:

THAT the Advisory Planning Commission **NOT** support Text Amendment Application No. TA08-0007, for 475 Groves Avenue, 2970-2974, 2978 Pandosy Street, Lots A, B & C, Plan 4645; 3000 Pandosy Street, Lot 19, Plan 2708; 3006 Pandosy Street, Lot 2, Plan 4373, 3010 Pandosy Street, Lot CP, Plan K2226, Twp. 25, Sec. 13, O.D.Y.D and 3030 Pandosy Street, Lot 1, Plan 3226 by Busby Perkins and Will to create a "Green" Comprehensive Development zone.

CARRIED

Roland Harvey – Opposed

APC Comments:

- The Members advised that they are not prepared to deal with the level of bonusing being presented. The bonusing should not be site specific. The Members are not comfortable with a new zone being proposed by the developer as they feel the proposal should have come forward by City staff.

In response to the concerns expressed by Staff and the APC, the application was amended to drop the Comprehensive Development zone proposal and work within the existing C4 zone as amended with variance for height and site coverage.

As the Text Amendment Application was not supported by the Commission, the Rezoning and Development Permit Applications were not considered at this meeting. However, there were no specific concerns expressed with regards to the form and character of the proposed development.

NOTE:

The Text Amendment application was changed to amend the existing C4 zone to add density bonus provisions in exchange for the provision of all required parking to be located below grade, car-share program, public courtyard, and green roof features to the proposed building development. The proposed building information presented to the APC has not changed from that original submission.

3.1 The Proposal

The applicant is proposing a 16,990m² "mixed-use" development of the subject properties. The premise for this level of development is the inclusion of a parking structure located entirely below grade and the provision of a public amenity in the form of a publicly accessible "Public Courtyard" area accessible from grade to support density bonuses now allowed by the C4 – Urban Centre Commercial zone.

The proposed development is generally designed as a 2 storey podium with an internal courtyard area constructed over an underground parking garage. The parking garage occupies the entire development site. On top of the southern portion of this podium are two rows of stacked townhouse units up to 4 storeys in height, oriented parallel to Pandosy Street. Above the northern portion of the podium adjacent to Groves Avenue, there is a 9 storey apartment building designed in an "H" configuration. The resulting floor area is approximately 16,990 m² floor area creating 87 residential units, and 20 office and retail units.

The subject properties are proposed to be developed with a parking structure that occupies the entire site and is located entirely below the building and adjacent street grades. The vehicle access to this parking garage is located at the south west corner of the proposed development, accessed directly from the adjacent lane. Located immediately north of this access is a recessed loading bay to provide space for the proposed loading stalls. The parking garage is designed to provide temporary storage for vehicles and bicycles only. There is no long term storage or mechanical systems located on this level, as the elevation is below the critical flood plain level of 344.6 m.

The proposed development is designed as a modern building, utilizing a substantial amount of exposed concrete, exposed metal structure, engineered glazing systems, as well as glazed railing systems. The ground floor pedestrian level is finished with a detailed store-front glazing system to provide entry and display area for the ground level retail area to the adjacent sidewalk areas. There is an entry lobby located adjacent to Groves Avenue which provides access to the residential apartment building located on top of the podium at that location. The entry lobby is set apart from the remainder of the building façade by the use of a recessed and detailed entry doors, as well as entry signage to identify the location of this lobby.

There is a pedestrian entry at grade level from Pandosy Street at the approximate centre of the building façade of the podium, which provides access to the internal court yard. This entry also provides a grade level pedestrian passage way through the podium west to the lane located to the west of the proposed building. Adjacent to the internal court yard there is an entrance lobby area to provide access to the two rows of townhouse units located on top of the podium. This internal courtyard area also provides access to internal commercial units that may be created between the row of retail units that front either Pandosy Street or the parallel lane. It is hoped that the provision of retail opportunities along the lane frontage will change the character of the lane from a utilitarian role to a more pedestrian friendly "mews" character.

The applicants have committed to the provision of a building program that meets "LEED Gold" "green" building certification or equivalent.

As part of this development proposal the C4 zone was amended to include the following provisions;

- For development having all required parking stalls located below grade and a where there is a co-op / car sharing program provided, a density bonus of **0.84** may be added to the Floor Area Ratio,
- A density bonus of 0.18 may be added to the Floor Area Ratio if additional open space is provided over the minimum required private open space requirement of the zone by way of courtyards and green roofs,
- The maximum attainable FAR in the C4 zone attainable with bonuses shall be **2.35**,

As part of the proposed development the applicant is also proposing the provision of 3 rental units (223m²) in the proposed development, as controlled by the associated Housing Agreement document, in order to obtain a density bonus of 0.03, as outlined in the existing C4 zone for the provision of affordable housing.

The development proposal as compared to the amended C4 zone requirements is as follows:

CRITERIA	PROPOSAL	EXISTING C4 ZONE STANDARDS
Site Area (m ²)	7,233.3m ²	460 m ² if abutting a lane
Site Width (m)	58.57 m	13 m if abutting a lane
Site Depth (m)	126.08 m	30 m
Site Coverage (%)	77% ❶	75%
F.A.R.	FAR = 2.35	Base FAR = 1.0 for commercial FAR = 1.3 for Mixed-Use FAR = 1.4 for Mixed-Use with Housing Agreement
Storeys (#)	11 storeys (36.5 m) ❷	4 storeys (15 m) 7 storeys (27m) after text amend't
Setbacks (m)		
- Front (Groves Ave.)	0.0 m	0.0 m
- Rear	0.0 m	0.0 m
- Side	0.0 m	0.0 m Exc. 2.0 m adj to Residential zone 4.5 m or ½ building height for RU1, RU2, RU3, or RU4 zones
- Flanking Side (Pandasy)	0.0 m	0.0 m (flanking street)
Parking Stalls (#)	214 stalls provided	178 stalls required
Bicycle Stalls	Class I Class II	55 stalls required 40 stalls required
Loading stalls	3 stalls provided	3 stalls required

Variances Required;

❶ Vary maximum permitted site coverage from maximum 75% permitted to 77% proposed,

❷ Vary maximum building height from 4 storeys (15m) maximum permitted to 11 storeys (36.5 m) proposed.

Please note that the proponent will enter into a housing agreement to meet the proposed maximum FAR of 2.35. The density calculations are as follow:

Base Density for Mixed-Use development 1.3
 Bonus for underground parking 0.84
 Bonus for public open space at grade 0.18
Resulting FAR = 2.32

Required bonus for housing agreement - FAR = 0.03
 (7,233.3 m² x 0.03 = **217m²**)

Parking Calculations;

Number of residential units	87 @ 1 per unit =	87 stalls
Commercial area	5152.4m ² @ 1.75 stalls / 100 m ² =	91 stalls
	Parking required	178 stalls required
	Parking provided	214 stalls provided

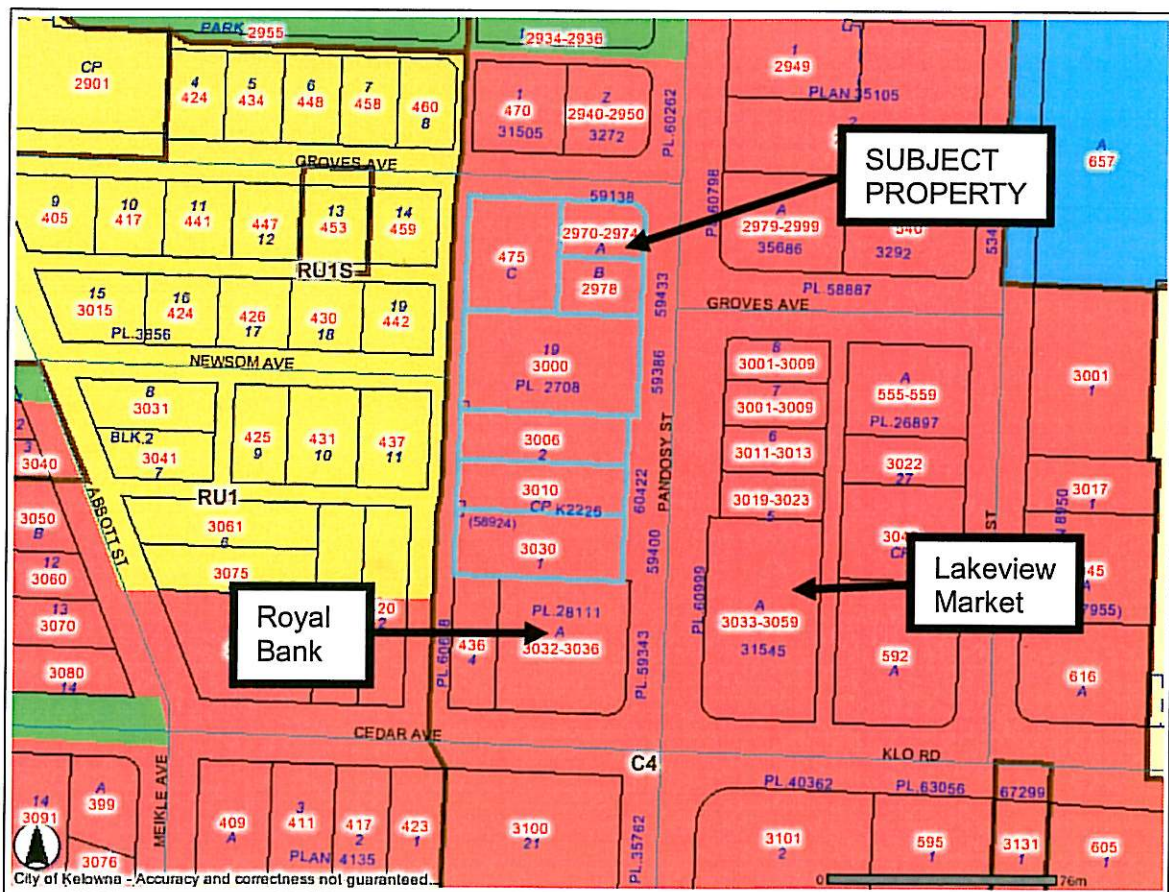
3.2 Site Context

The development site is comprised of seven lots, each developed with single or two storey buildings which incorporate a variety of commercial uses. The site was generally built up in the 1950's and 1960's. The area of the subject development site is generally flat and level.

Adjacent zones and uses are, to the:

- North - C4 – Urban Centre Commercial
- East - C4 – Urban Centre Commercial / Pandosy Street
- South - C4 – Urban Centre Commercial – Banking office
- West - RU1 – Large Lot Housing / Lane

SUBJECT PROPERTY MAP



3.3 Current Development Policy

3.3.1 Kelowna Official Community Plan

The location of the subject properties are designated as "Commercial" future land use in the City of Kelowna Official Community Plan. The proposal for a "Mixed-Use" development is consistent with that designation.

3.3.2 City of Kelowna Strategic Plan (2004)

The City of Kelowna Strategic Plan 2004 describes a vision of what residents hope Kelowna will be like in the future and has identified as one of the themes that overall, residents aspire to live in a community that:

- works to develop and maintain a strong, diversified local economy that offers residents opportunities for high-paying jobs

The City of Kelowna Strategic Plan 2004 also states as Goal 2;

"To foster a strong, stable and expanding economy "

The City of Kelowna Strategic Plan 2004 also states as Objectives for Goal 2;

1. Aid in the growth and progress of Kelowna as a desirable place to do business.
2. Aid in the growth and progress of Kelowna as a desirable place to visit, shop and tour.

Increase the diversity of employment opportunities.

3.3.3 Crime Prevention Through Environmental Design

Through the design process the applicant has committed to following the City of Kelowna Crime Prevention Through Environmental Design guidelines. A summary is attached to this report.

4.0 TECHNICAL COMMENTS

The application has been circulated to various technical agencies and City departments and the comments which have been submitted are attached to this report.

5.0 LAND USE MANAGEMENT DEPARTMENT COMMENTS

The applicant has worked with City staff to review and refine the proposed building design, with particular consideration given to the base of the podium to provide a satisfactory level of detail at the pedestrian level to better enhance the pedestrian experience.

The proponent and their consultants have proposed to include sustainable "green" development features as a major component of the development proposal which are seen as positive initiative for development in the City of Kelowna.

The applicant is proposing to provide;

- Off-street parking located entirely below the building and below the surrounding street grade,

- a “Public Courtyard” within the podium that is a minimum of 20% of the site area,
- “Green Roof” elements to the townhouses and tower elements to provide usable space to the development residents, while also allowing for alternatives for manage and controlling storm water run-off.

As well, the applicant is proposing to offer 3 residential units (totalling 223m²) to be controlled by a housing agreement and provided for rent.

By having the entire parking structure located entirely below grade, it will allow the “Public Courtyard” to be accessed from the surrounding sidewalks without any steps, which will improve the perception from the sidewalk that this space is public, and connected to the sidewalk. As well, the applicant has committed to providing continuous access for the public to this courtyard area.

The applicant has also indicated that the proposed development is anticipated to meet the “LEED Gold” building certification, or equivalent.

The height variance under application for the tower portion of the proposed development represents approximately a 4.6% increase in floor area over what could be developed if the building program was limited to a 7 storey building height, occupying comparable building footprint that is currently under application. The outcome of such a building program is to spread the bulk of the density across the entire site. A uniform building mass is a likely outcome.

Alternatively, a more creative approach is to vary the mass across the site with some portions being of lower mass and height, and others being of higher mass and height. This approach allows open space, ventilation, and light to penetrate the inner portion of the site. It is much less likely that open space at ground level could be achieved without a grouping of relative massings over a site. The variance under application allows for the relocation of a portion of the building mass from the horizontal portion of the building façade facing Pandosy Street to the tower element located at the north end of the development.

In addition to the benefits of public open space at grade, the building offers quality materials and detailing. Of special note are the articulation of the at-grade frontages along Pandosy Street, Groves Avenue, and the lane. The design treatment of these facades reinforces the interconnection with the public realm that is underlined above. High levels of transparency into the retail spaces, and appropriate human scale are commendable qualities that present a welcoming and friendly face to the street.

As this application was made before the Council endorsement of the “Growth Strategy for the South Pandosy” document dated October 24, 2007, this application has been forwarded to Council with positive recommendations.

In conclusion, Land Use Management Department supports these applications and recommends for positive consideration by Council.

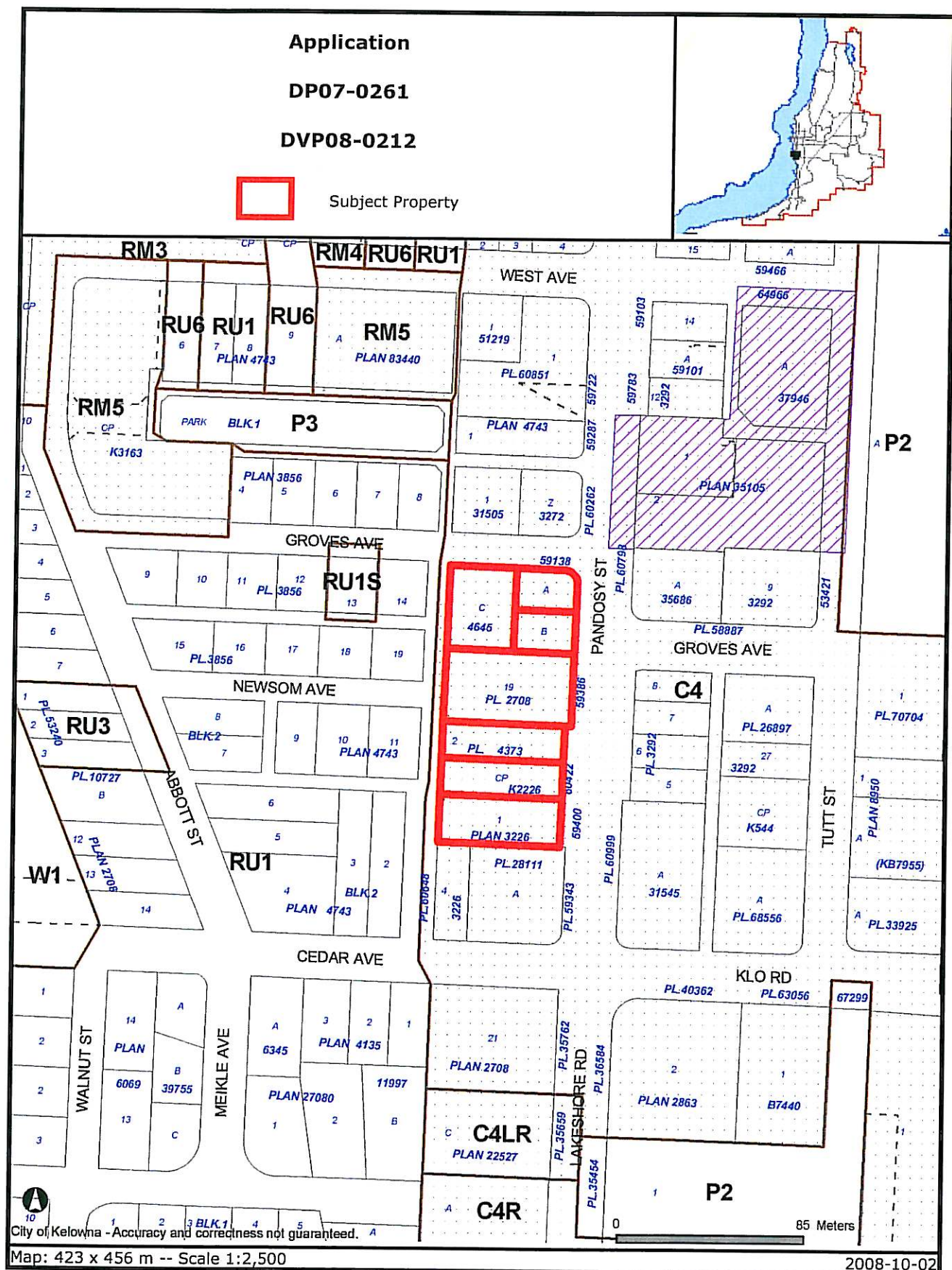


Shelley Gambacort
Director of Land Use Management

PMc/pmc
Attach.

Attachments

Subject Property Map
Schedule A, B & C (6 pages)
12 pages of site elevations / diagrams
Rationale Letter
CPTED summary
Memo – Works and Utilities Dept. servicing requirements
Memo – Policy, Research and Strategic Planning comments
Print-Out – Tracking System Detail Report



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

BUSBY
PERKINS
+ WILL

2/7/2008

Planning and Development Services
c/o Paul McVey
City of Kelowna
1435 Water Street
Kelowna, BC

Re: 3000 Pandosy – Rationale for Design Development from Original Scheme

Paul:

The City of Kelowna Planning Department requested we provide a rationale for the change to the current design from the previously submitted concept design, provided by Renaissance Architecture Planning Inc. (Dated July 11, 2006).

The previous concept was based on a 2 courtyard scheme with one level of retail, one level of office and 3 long 5-storey residential tower blocks, running east-west. The retail street wall was porous, with 3 entries to the courtyard from Pandosy, and 2 entries from Groves. One level of underground parking was provided.

The previous scheme was developed to a concept level only and would likely have changed considerably during design development. Please note we are comparing an undeveloped, schematic layout to a design that has undergone rigorous analysis.

Parking Level P1

- The previous scheme requires 6 residential cores and 2 retail / office cores (not shown), resulting in an inefficient parking layout. The scheme proposes 174 parking stalls with 252-264 required. The current scheme has 2 residential cores, one office and one retail core. Eliminating cores allows the current scheme to provide 214 total parking stalls, close to the 217 stalls required. The current scheme has less proposed office and retail space, thus reducing the parking requirements on site and the traffic and parking burden on the surrounding area. Note that both schemes propose underground parking at a significant cost premium to the developer over at-grade parking.

Retail Level 1

- The previous scheme has a single level of retail surrounding 2 courtyards. The scheme suggests the 3 entrances to the courtyard will be 'view corridors' looking west towards the lake. The reality is that the lake would never be visible from Pandosy due to the existing buildings between the development site and the lake. These entrances erode a successful retail street wall, critical to great retail boulevards. The current scheme provides continuous retail frontage with a single, larger (34' wide) passage into the courtyard that aligns with Newsome beyond. This opening encourages the passage of foot traffic through the development, increasing exposure for the courtyard and retail tenants.



- A successful mixed use development requires a variety of retail tenants, including larger 'anchor tenants' that attract customers and increase exposure for smaller, specialty tenants. This tenant mix requires a variety of retail spaces. The previous scheme provided single storey retail better suited to small operations. Anchor tenants require larger, double height areas with dedicated loading areas and continuous street exposure. The current scheme accommodates a variety of retail tenant types, in line with the developer's objective of creating a mixed-use community. Expected retail tenants include a grocer, deli, café, spa and restaurant.
- In the previous scheme, the second level (office) of the podium along Pandosy was largely opaque with few openings. The current scheme provides considerably more glazing along Pandosy. In line with 'Crime Prevention Through Environmental Design' (CPTED), guidelines more eyes on the street contribute to reducing crime and unsafe areas. The development provides a variety of retail 'frames' to create a more eclectic mix in line with existing Pandosy retail. The south retail block façade shows double height spaces for larger retail tenants, while the north block has office space above single level retail. Office terraces are provided along Pandosy St. Retail signage and canopies can vary from retail frame to frame. Stone combines with glazing and cedar screens and siding to create a rich, sophisticated material palette.
- The 2 smaller courtyards from the previous scheme were largely shaded by the residential towers for the majority of each day. They would be unpleasant, largely unused spaces during the fall and winter. The current scheme provides a single, larger courtyard with both open and covered spaces. The mass of the tower is oriented on the north end of the site, maximizing sun exposure for the open courtyard. The south end of the courtyard containing the retail core is sheltered from the elements, creating a viable outdoor space in unpleasant weather. The greater size of the courtyard (20m x 50m) allows for the staging of community events such as craft fairs and public markets. Water features, planting and public seating provided by the developer contribute to the viability of the space. The courtyard public amenity is only made possible by locating parking underground, at significant cost to the developer. Note the courtyard will not be gated as it is considered a public space.
- In both schemes, The Newsome Laneway to the west of the project is proposed as a pedestrian friendly retail mews with porous pavers, bollards and planting. The laneway is viewed as an extension of the courtyard; a public amenity for the local community.

Office Level 2

- The quantity of office space has been reduced from the original scheme (5,700 sqm – schematic number that would likely be reduced during design development) to the current scheme (1,612 sqm). The developer has reduced the area to lessen the parking requirements, and to provide more viable double height retail space at grade level. There is no provision for residential storage space in the previous scheme. The current scheme accommodates storage on level 2, south block.

Residential Tower Levels

The original towers consisted of single loaded suites with exterior corridors and 2 elevator / stair cores per tower. A total of 48-60 suites were provided over 3 towers.

- This is an extremely inefficient layout for a residential building, requiring at least 6 residential elevator/stair cores in the development. In addition, retail and office cores (not shown) would be required, for 8 total cores. This created exorbitant costs for the

developer. The current scheme has a single residential core for the tower, one for the townhomes, one for office and one for retail, 4 total.

- The towers themselves were oriented such that the courtyards would be shaded for much of the year. The current scheme has the tower on the North end of the property, to maximize south sun exposure in the courtyard.
- The previous scheme did not have a variety of unit types, thus limiting the likelihood of a mixed community. The current scheme provides single bedrooms, flex suites, 2 bedrooms, 3 bedrooms and 2 bedroom townhouse units with garden access, for a total of 87 units. The unit mix accommodates singles, couples and families, creating a mixed community.
- Mary Pynenburg, the director of planning at the time, commented that exterior residential corridor circulation visible from the street created a 'motel' feel, and was not the preferred direction for this development.
- The current scheme provides a variety of podium level green spaces for residents. The north block tower residents have access to a putting green, and an outdoor garden. The south block townhomes are arranged around a long green space complete with water feature, seating area, and outdoor fireplace. These spaces greatly increase the quality of life for residents, making the suites more viable for a range of clients including families. In addition, these green roofs provide a visual amenity for surrounding residents as the neighborhood is built up.

Green Building

- Unlike the previous scheme, our building is targeting LEED Gold Status, providing significantly improved environmental performance. LEED is a rigorous, peer reviewed, widely recognized system for assessing the environmental performance of a building. LEED accreditation is a costly endeavor, and we are seeking a density bonus to offset some of the costs to the developer. Please refer to the '3000 Pandosy Zoning Report' and the 'Basis for Density Bonus Determination' Spreadsheet for the empirical rationale behind the requested density bonusing.
- Our aggressive environmental design strategy includes geothermal heating and cooling, solar hot water tubes, sun shading, radiant heating and cooling, natural ventilation and triple glazing.

The current proposal for 3000 Pandosy represents a high performance, environmentally sensitive approach to development that responds to critical issues facing Kelowna, such as the increasing population, urban sprawl and reliance on the automobile. At significant financial risk, the developer is proposing a project atypical to this area. The planning, density and mixed use nature of this project will foster a vibrant and sustainable community. The development seeks to institute a new paradigm for contextually and environmentally sensitive development in Kelowna.

We are available to discuss any further concerns you may have about the project, at your convenience.

Sincerely,
BUSBY PERKINS + WILL

David Dove MAIBC MRAIC LEED AP
Principal

File: Z07-0091

Application

File: Z07-0091

Type: REZONING

File Circulation

Seq	Out	In	By	Comment
				B.C. Assessment Authority (info only) 2007-10-31 2007-10-31
				Community Development & Real Estate Mgr 2007-10-31 2007-11-14
			SALEXAND	CD&RE Comments for Inclusion in Council Report: Please contact the Land Agent for road dedications over 20 metres in width, land dedications and land transfers to or from the City of Kelowna, road closures and road reserves. Depending on the type of land transaction being contemplated, the processing time can vary from 3 weeks to 3 months. The Land Department requires a full size copy, together with an 8 1/2 x 11 copy, of any survey plans.
				Fire Department 2007-10-31 2007-12-07
			MNEID	Confirm clause 3.4.2.5.(1) (c) of the BCBC 2006 is met in travel distance to exit. Code analysis to address exiting and building classifications. Engineered fire flows required to determine if present hydrant location, number of hydrants, and hydrant volume will be adequate. Hydrants to service this building should be on the same side of the street as the building. Fire department access, fire flows, and hydrants as per the BC Building Code and City of Kelowna Subdivision Bylaw. Pumper port to be 45 M clear access to a hydrant.
2				Fire Department 2007-10-31 2007-12-07
			MNEID	Code analysis will determine if the Kelowna Fire Department requirement 'Additional Requirements for High Rise Buildings' will need to be implemented in the building plans, contact Fire Prevention Branch for details. Supply detail equivalencies, if any.
				FortisBC 2007-10-31 2007-12-10
				Inspections Department 2007-10-31 2007-11-13
			RREADY	Demolition permits required for existing buildings. Subject property located within flood plain construction area, no habitable space or mechanical equipment permitted below the elevation of 343.66m. Water table area, geotechnical engineer's report/supervision required for soil stability and ground bearing capacity. Code analysis required for building exiting. Spatial separation calculations required on exit stairway at south property line. Exterior passageway to meet requirements of 3.3.4.3 BCBC 2006.
				Kelowna Regional Transit/Operations Mgr 2007-10-31 2007-11-05
				Mgr Policy, Research & Strategic Plannin 2007-10-31 2007-12-19
				Park/Leisure Services Dir. (info only) 2007-10-31 2007-10-31
				Parks Manager 2007-10-31 2007-11-28
			TBARTON	1. The applicant will need permission from the City to reconstruct the streetscape along Pandosy St and/or Groves Ave. Contact the City's Development Engineer, Steve Muenz to discuss requirements at (250) 469-8625.
				2. We encourage the applicant to replace the existing 8 Red Maples along Pandosy Street with White Ash (Fraxinus americana 'Autumn Purple'). Contact the City's Urban Forestry Supervisor, Ian Wilson to discuss street tree selection and spacing at (250) 469-8842.
				Public Health Inspector 2007-10-31 2007-11-08
				RCMP 2007-10-31 2007-12-28
				School District No. 23 2007-10-31 2007-12-10
				Shaw Cable 2007-10-31 2007-12-10
				Telus 2007-10-31 2007-12-05
				Terasen Utility Services 2007-10-31 2007-12-10
				Works & Utilities 2007-10-31 2008-02-11
				No response
				No response
				No response
				TELUS will provide underground facilities to this development. Developer will be required to supply and install conduit as per TELUS policy.
				No response.
				see documents tab

Paul McVey

From: Signe Bagh
Sent: December 19, 2007 1:13 PM
To: Paul McVey
Cc: Heather Benmore; Gary Stephen; Pat McCormick
Subject: FW: Z07-0091 DP07-0261 TA07-0007

Follow Up Flag: Follow up
Flag Status: Flagged

Paul,

Please see below for PRSP comments on above-noted file. They were too extensive for posting to the file tracking system, but I have updated the system to refer to this email.

Thanks.

Signe

-----Original Message-----

From: Gary Stephen
Sent: December 17, 2007 2:31 PM
To: Signe Bagh
Cc: Pat McCormick
Subject: Z07-0091 DP07-0261 TA07-0007

Signe

Comments for posting to the file tracking system if you concur. This email also contains comments from Pat McCormick with respect to the DP application.

The subject property is designated as Commercial in the OCP. The Commercial designation is for commercial uses but also supports the integration of residential use in Urban Centres. This designation also specifically refers to a building height of up to 4 storeys.

The South Pandosy / KLO Sector Plan supports a 4 storey height limitation except for at potential landmark locations. The Urban Form and Design objectives (page 41) support the revitalization of the South Pandosy Commercial district by encouraging pedestrian oriented commercial and mixed use development of up to 4 storeys. Policy 1.8 (page 42) encourages development of landmark buildings at key intersections and at the terminus of significant sight lines. Policy 1.17 (page 43) encourages the height of buildings along Pandosy / Lakeshore Roads to a maximum of 4 storeys. Policy 1.18 (page 43) provides for consideration of a landmark development at the corner of Lakeshore and Watt Roads in the form of a mixed use building of up to eight (8) storeys.

The subject property is also designated as a Town Centre (within the overall Urban Centre hierarchy). The Town Centre designation provides for different uses in the same building, and a variety of housing types in a highly urbanized, pedestrian-friendly environment. Typical zoning would be C4 Town Centre Commercial.

The subject property is zoned C4 Town Centre Commercial which allows commercial uses as the principal uses and apartment housing as a secondary use. This zone also provides for a base density of 1.3 (FAR) and maximum density (FAR) of 1.6 (if all bonuses are achieved including affordable housing). Without an affordable housing component the maximum density would be 1.5. The applicant has proposed an FAR of between 2.38 – 2.74. The maximum height in the C4 zone in the Pandosy Town Centre is 15.0 m or 4 storeys. The applicant has proposed a building height of 11 storeys. Given that this project is not located on a key intersection (or at an intersection at all) nor is it located at the terminus of a significant sight line, staff are hard pressed to consider this site a landmark location whereby we might be convinced to consider additional height. There is no policy direction guiding staff to be supportive of the proposed density and building height, whether as part of a C4 zone or a CD zone. The C4 Zone does provide the potential for up to 25.0 m or 7 storeys where a hotel or apartment hotel is proposed. A building of 6 storeys would fit within the FAR of 1.5.

Although there are no specific limitations on floor plate size within the C4 zone, a contextual comparison would suggest

that the 'mass' of the proposed building towers is excessive. The floor plate being proposed is 1.5 times larger than currently allowed in the C7 zone for the Downtown Urban Centre. Why would we consider a higher standard for this site in this area over our premier Urban Centre?

The applicant justifies the request for the density increases by suggesting that LEEDS certification and the provision of certain amenities warrant density bonuses above and beyond what is currently provided within the C4 zone. The issue of bonuses has to be examined very carefully. In our minds, these should only be considered in the context of 'good planning principles' -- in other words -- a bonus should not end up creating greater density in an area than is appropriate from a 'land use and planning' perspective.

The South Pandosy area is a narrow corridor located between Richter Street and the lake. That reality, combined with the small size of the properties in this area and the existing road network configuration suggest that this area is not suitable for redevelopment to the types of projects being proposed under this application. Other areas of the City (such as the Downtown, Springfield and Rutland) are more suited to high-rise towers. It is suggested that if planning staff were to go about a comprehensive review of development potential in this area, we would land on much the same recommendations as are reflected in the plans today. Departing from the direction of the adopted policy documents with this project would likely set in motion similar requests for other projects in the near vicinity and the City's ability to deliver on the vision currently in place for South Pandosy would be compromised. Allowing high towers in the South Pandosy area would also diminish the distinction between this area and the downtown.

This application provides information (from Holland Barrs Planning Group) on what they consider appropriate bonus levels for LEEDS certification. This is interesting background information. However, the City has not at this point established a density bonus for green elements or LEEDS certification. By agreeing to this proposal, we would be setting a precedent. It is suggested that we have not yet had a chance to explore the associated ramifications and should therefore be very cautious about agreeing to bonuses for LEEDS certification.

The amenities as proposed in this application in addition to the LEEDS certification (green building / green roof) are a public courtyard, flex apartments, a multi-use laneway and underground parking. The green elements are intangible benefits (the public cannot see, touch or use these benefits). The public courtyard would appear to be publicly accessible only during the day (it may be locked during non-business hours?) and should not be considered true public space. It is not public land available 24 hours / 7 days a week and may not be permanent depending on the wishes of future tenants and owners in the strata buildings. The access to the courtyard is through a narrow passage that would may not be perceived as inviting and possibly not be easy to see unless there is signage advertising that the public is welcome.

The flex apartment units would provide another form of housing which has some community value, but depending on the price these units are sold or rented for, that community benefit may be limited. Underground parking is not necessarily a public amenity. The applicant needs to provide this to satisfy tenants and to ensure that the project complies with site coverage regulations and in any case a bonus for this feature is already included in the FAR of 1.5. The multi-use laneway is in fact retail development along (one side only) a public roadway that currently exists and would be opposite existing and future residential development. It is unlikely that we would support expansion of the commercial zoning to the west of the lane. This development is not creating new pedestrian linkages other than the potential to move through the site east / west when the courtyard is open. It is questionable whether there is sufficient public benefit from the proffered 'amenities' to justify the density increases being sought.

Recent work by Jay Wollenberg of Coriollis Consulting suggests that the value of additional density is on the order of \$40 per square foot. At the proposed FAR of 2.38 this proposal would provide for an additional floor area of 68,517 sq. ft. over the base density of 1.5. At \$40 per sq. ft. that becomes \$2.74 million in additional value. At a potential FAR of 2.74 the additional floor area over the base density of 1.5 would be 96,547 sq. ft. that would produce some \$3.86 million in additional value. Can the community 'amenities' being offered be valued that highly?

Regardless of the amenities being offered, it is suggested that density bonuses on this site should only be considered within the parameters established in the C4 zone.

This application could be supported if the density and height were brought more in line with the provisions of the C4 zone (e.g. 7 storeys or less), with an FAR of 1.5.

Gary Stephen,
Long Range Planner

DP07-0261

Height and Bulk

The height and bulk of the residential tower portion of this project are a concern. In its favour, the tower has two indents, one each on its east and west elevations that, depending upon the angle of view, might make it appear to be two slimmer towers side by side. Notwithstanding this architectural technique however, the height and bulk are not consistent with policy directions for the South Pandosy area.

It must also be noted that the maximum horizontal dimensions in the C7 zone is 26 metres. The maximum floor area net of any bonuses in the C7 zone is 676 square metres. There are no maximum floor dimensions or floor area dimensions in the C4 zone.

This development would be in a C4 zone rather than a C7 zone. However, the question remains as to why a building in a C4 zone would be allowed a greater maximum floor plate dimension and maximum floor area (and thus building girth) than that allowed within Kelowna's principal urban centre.

Podium

A second concern is the podium of the project. Although offering quality materials and detailing, and otherwise presenting a handsome face to the street, the texture and scale is not particularly consistent with that of the existing buildings within the South Pandosy commercial area. The vocabulary of elements proposed stretches along a Pandosy frontage of almost 126 metres (415 feet) and a Groves Avenue frontage of 54 metres (178 feet). The result is a building that is considerably more predictable, less varied, and more formal at street level, than what the pedestrian typically experiences along the commercial streets in the area.

It is noted that the regularity of the podium is a result not only of the constant, unvarying rhythm of bays, but also the strong horizontal and unvarying thrust of the podium cornice.

The pattern of small lots and buildings within the South Pandosy commercial area is what gives it its distinct "village" character. Admittedly consolidation of properties is necessary to create economically-viable projects and this is not in question. However, care should be taken with buildings that have extended frontages to fit in and work with the established street rhythm of the area.

Open Space

By putting all parking underground, the grade level is freed for other uses. In addition to allowing CRU's of sufficient size, the underground parking allows some of the ground level to be offered as open space intended for use by the public.

The applicant refers to this space as "public" space but the City should be cautious about this claim in that publicly-accessible space controlled by private interests is not "public" in the true sense of the term. The application paints a rich picture of the two courtyard spaces and says the north courtyard will function as a venue for "public events such as craft fairs, markets, etc.". However, there are no assurances that access or use of the courtyard spaces will not be restricted by the future strata or property owners that will ultimately control the space.

Newsom Alley

The notion of a walkable, pedestrian-friendly corridor behind the proposed development is welcomed. However, in the short-term, retail solely along the east side of the alley will be less successful until it can be complemented by retail at grade along the west side of the alley. More than this, it is noted that the retail on the north side of the pedestrian connection from Pandosy St links back to the street retail on Groves Avenue. That is, the retail experience from the north side of the pedestrian link through the courtyards, to Groves, and back to Pandosy, is continuous.

By comparison, the CRU south of the pedestrian link (CRU 09) is isolated in that it doesn't connect to anything to the south. In fact, the remainder of the building face south of CRU 09 is an extended frontage of loading dock and parking.

It is also noted that the work to date by the City regarding future development of this area does not anticipate or otherwise encourage the alleys as pedestrian-spaces, and without a commitment by the City to such a policy direction, the proposed development of Newsom alley could ultimately be an anomaly the success of which is compromised by the lack of a more comprehensive pattern of connected spaces.

Recommendations

That the height of the residential tower be reduced;

That the vocabulary of the podium present a more casual, relaxed feel to the street, possibly incorporating less orthogonal lines in the form of curves and angles and by allowing individual store signage specifically, and store facades generally to be individualized within an overall structural framework; as well the horizontal continuity of the podium cornice should be varied or otherwise broken to create more of an effect of contiguous but individually-owned store frontages;

Patrick McCormick
December 4, 2007

4.0 SECURITY

Crime Prevention Through Environmental Design Guidelines (CPTED) informed the design.

Surveillance

Residential units are clustered to provide easy viewing of the surrounding environment. In particular, the tower and townhouse units overlook Newsom Laneway. Walkways and entries are highly visible, well lit, and overlooked by windows. Parkade exit stairs are separated from elevator lobbies by secure vestibules creating areas of refuge. All vestibules are glazed to reduce hiding places and open up views to parking areas. The mixed use nature of the development ensures the presence of people at all times. All landscape will be maintained to allow clear views of surrounding areas.

Territoriality

Symbolic barriers are achieved through landscaping changes – eg. paving stone patterns and colour denote separation between streets and courtyards. Planting, private terraces, and screens separate residential units from public spaces. Meeting spaces are provided in the form of public seating in the courtyards, to encourage public interaction. All public spaces (courtyard, loading dock, parkade) will be enclosed by security gates in the evening.

Lighting

The project will be well lit to provide security and facilitate vehicular and pedestrian flow. Lighting will be positioned to illuminate points of entry and eliminate shadows/hiding spots.

EXCERPT - APPLICATION PACKAGE

CITY OF KELOWNA

MEMORANDUM

Date: February 4, 2008
File No.: Z07-0091 DP07-0261 TA07- 0007
To: Planning & Development Services Department (PMvY)
From: Development Engineering Manager
Subject: 3000 Pandosy St., Groves Ave Plan 4645 Lots A-C Plan 2708 Lot 19
Proposed Multi Use Development

The Works & Utilities Department have the following comments and requirements associated with these applications. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is John Filipenko. ASCT

1. Domestic Water and Fire Protection

- (a) The proposed development site is currently serviced with a 150mm diameter service and a number of small diameter water services. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs.
- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the disconnection of existing unused services at the mains and the installation of one new larger metered water service if determined by the consulting engineer.
- (c) Provide a Watermain link within the lane from Groves Avenue, to connect with the terminus of the Watermain in Newsom Avenue.
- (d) The estimated cost of this construction for bonding purposes is **\$45,000.00**. If it is determined that additional upgrades to the existing water distribution system must be made to achieve the required fire flows, additional bonding will be required.
- (e) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system.
- (f) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

2. Sanitary Sewer

- (a) Our records indicate that this proposed development site is connected with small diameter sewer services. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs.
- (b) The applicant, at his cost, will arrange for the installation of one larger service, as well as the capping of all existing services at the mains.
Only one service will be permitted for this development. The estimated cost of construction for bonding purposes is **\$20,000.00**
- (c) A preliminary flow analysis check by the City has determined the impact of additional flow contributions to the existing Cedar Avenue sanitary sewer system. The existing sewer lift station is limited in capacity. Upgrades to the sewer lift station will be required. The City will partner with the developer to facilitate the upgrade of the sanitary sewer lift station. The developer's contribution towards the cost of the sanitary lift station upgrades will be based on the development's additional SFE flows. This amount is to be determined.

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and /or recommendations for onsite drainage containment and disposal systems. The on-site drainage system may be connected to an existing or proposed drainage system with an overflow service. Pump groundwater discharge will not be permitted into the City drainage system. The estimated cost for providing a overflow service for bonding purposes is **\$5,000.00**
If it is determined that additional upgrades to the existing drainage system is required, additional bonding will be required.
- (b) Provide a lot-grading plan.

4. Road Improvements

- (a) Pandosy Street: Widening of Pandosy Street will require a new curb and gutter alignment, pavement widening, reconstruction of the sidewalk and boulevard treatment, relocation of catch basins and street lighting and or adjustment of utility appurtenances to accommodate the upgrading construction.

The City wishes to defer the widening of the Pandosy Street fronting this development. Therefore, cash-in-lieu of immediate construction is required.
The cash-in-lieu amount is determined to be **\$ 57,650.00**
- (b) In the interim, the existing driveways accessing Pandosy Street must be removed and the curb and sidewalk reconstructed. The work must be constructed to City of Kelowna Standards. The estimated cost of this construction for bonding purposes is **\$10,000.00**

- (c) Groves Avenue: The Groves Avenue frontage if fully urbanized. Construction required is the existing curb letdown and driveway removal and replacement, construction of a new lane access letdown with a raised surface pedestrian crossing of Groves Avenue, and the re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The estimated cost of this construction for bonding purposes is **\$35,000.00** (not including the cost of relocating or adjusting of utility poles and other appurtenances)
- (d) Public Lane: The proposed lane fronting the development site has been constructed to a paved standard. The applicant has indicated his intentions of replacing the lane with a pedestrian friendly mews consisting of 2.25 meter wide sidewalks separating the 6.0m wide paver surface driving lane with bollards. The estimated cost of this construction for bonding purposes is **\$143,000.00**

5. Road Dedication and Subdivision Requirements

- (a) Dedicate a highway allowance widening of 2.7m for the Pandosy Street frontage of Lots A and B Plan 4645 (or as required to agree with registered Plan No. 4373).
- (b) Provide a 6.0m radius corner rounding.
- (c) Lane right-of-way is indicated as being shifted to the west by 0.6m. This will require lane closure along the boundary of this development and dedication from the existing lots to the west for a local width of 10.5m. Transferring of various ownerships is to be dealt with the Community Development & Real Estate Manager.
- (d) If any road dedication or closer affects lands encumbered by a Utility right-of-way (such as Gas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication or closer must be incorporated in the construction drawings submitted to the City's Development Manager.
- (e) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- (f) Lot consolidation

6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

7. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

8. Geotechnical Report

As a requirement of this application and building permit approval the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics, including water sources on the site.
- (b) Site suitability for development; i.e. unstable soils, foundation requirements etc.
- (c) Drill and/or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

9. Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

10. Bonding and Levy Summary

(a) Bonding

Pandosy Street driveway access removal	\$ 10,000.00
Watermain upgrades and servicing	\$ 45,000.00
Sanitary and Storm Sewer service upgrades	\$ 25,000.00
Groves Avenue frontage improvements	\$ 35,000.00
Lane construction	\$143,000.00

Total Bonding **\$ 258,000.00**

NOTE: The bonding amounts shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format. The owner must also enter into a servicing agreement in a form provided by the City.

(b) Levies

Pandosy Street Frontage improvements. One-time cash payment for future road widening	\$ 57,650.00
Cedar Creek Lift Station upgrade contribution	To Be Determined

11. Development Permit and Site Related Issues

- (a) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing existing structures.
- (b) Set the building frontage and access elevations to accommodate the future widening of Pandosy Street.
- (c) Protect existing sidewalks and streetscapes during construction. Replacement of damaged works will be at the developer's expense.

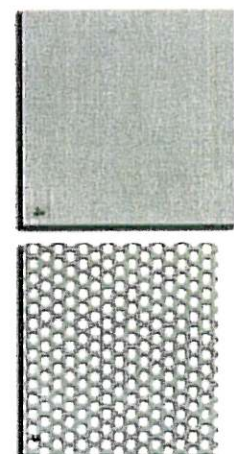
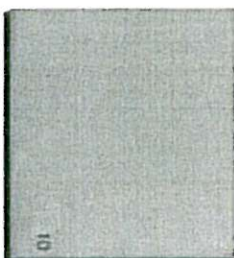
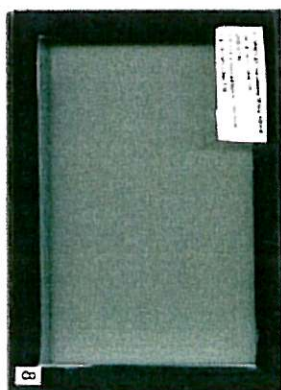
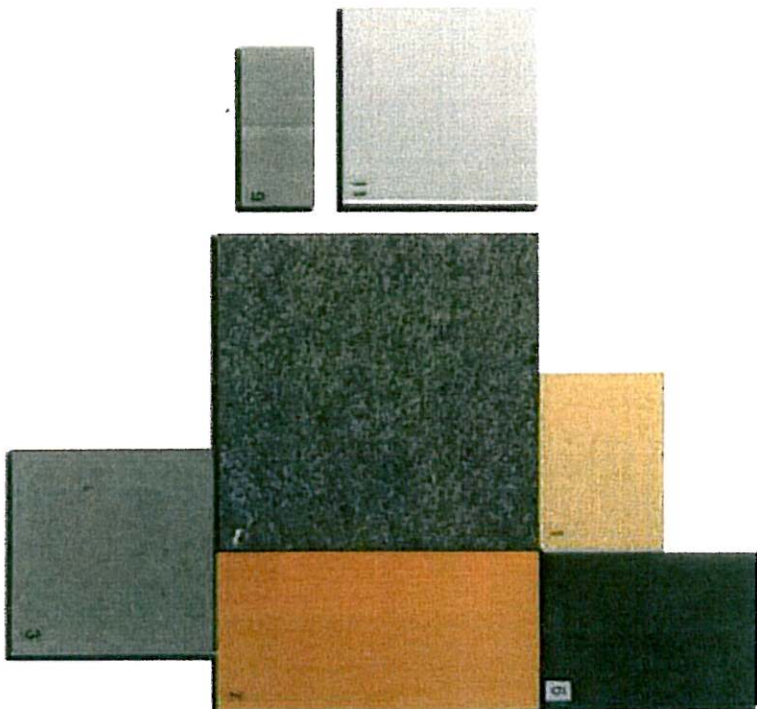
12. Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3% of Total Off-Site Construction Cost plus GST) **\$5,883.00** (\$ 5,550.00 + 333.00 GST)

Steve Muenz, P. Eng.
Development Engineering Manager
JF/jf



SCHEDULE "B"



- 1 BRICK
- 2 BASALT STONE
- 3 EXPOSED CONCRETE
- 4 ZINC
- 5 PERFORATED METAL SCREEN
- 6 ANODIZED ALUMINUM WINDOW FRAMES
- 7 WOOD SOFFITS / CANOPIES
- 8 CLEAR LOW E GLAZING
- 9 SPANDREL PANEL
- 10 TRANSLUCENT GLAZING
- 11 CLEAR GLASS GLAZING - CANOPIES



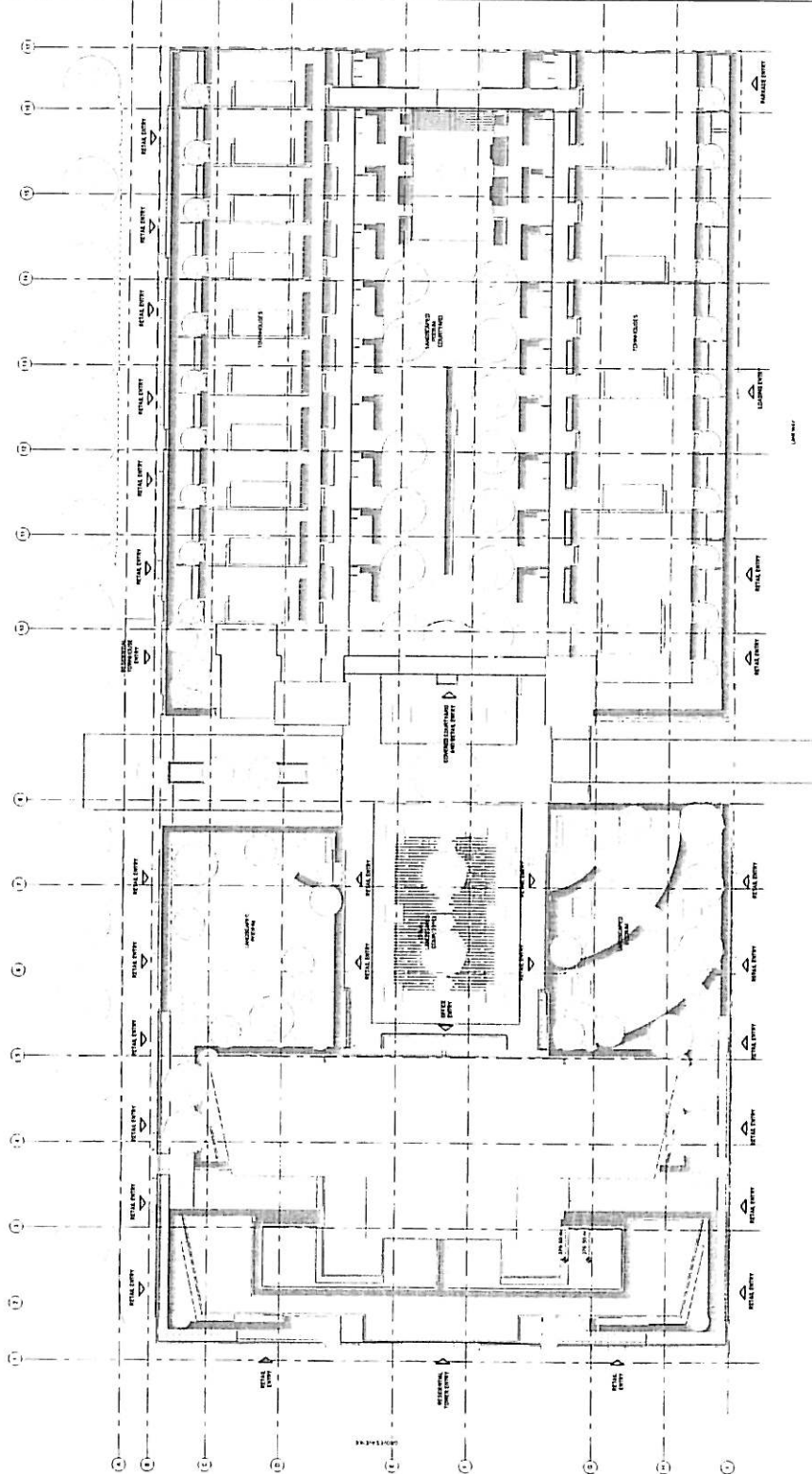
Sheet Information	
Date	01/17
Job Number	DP100
Drawn	T. Kim
Checked	C. Kim
Approved	EC
Title	SITE PLAN

SITE PLAN

Sheet
DP100

Copyright © 2017 Busby Perkins Will

PROPOSED STREET



1 SITE PLAN

SCHEDULE "A"

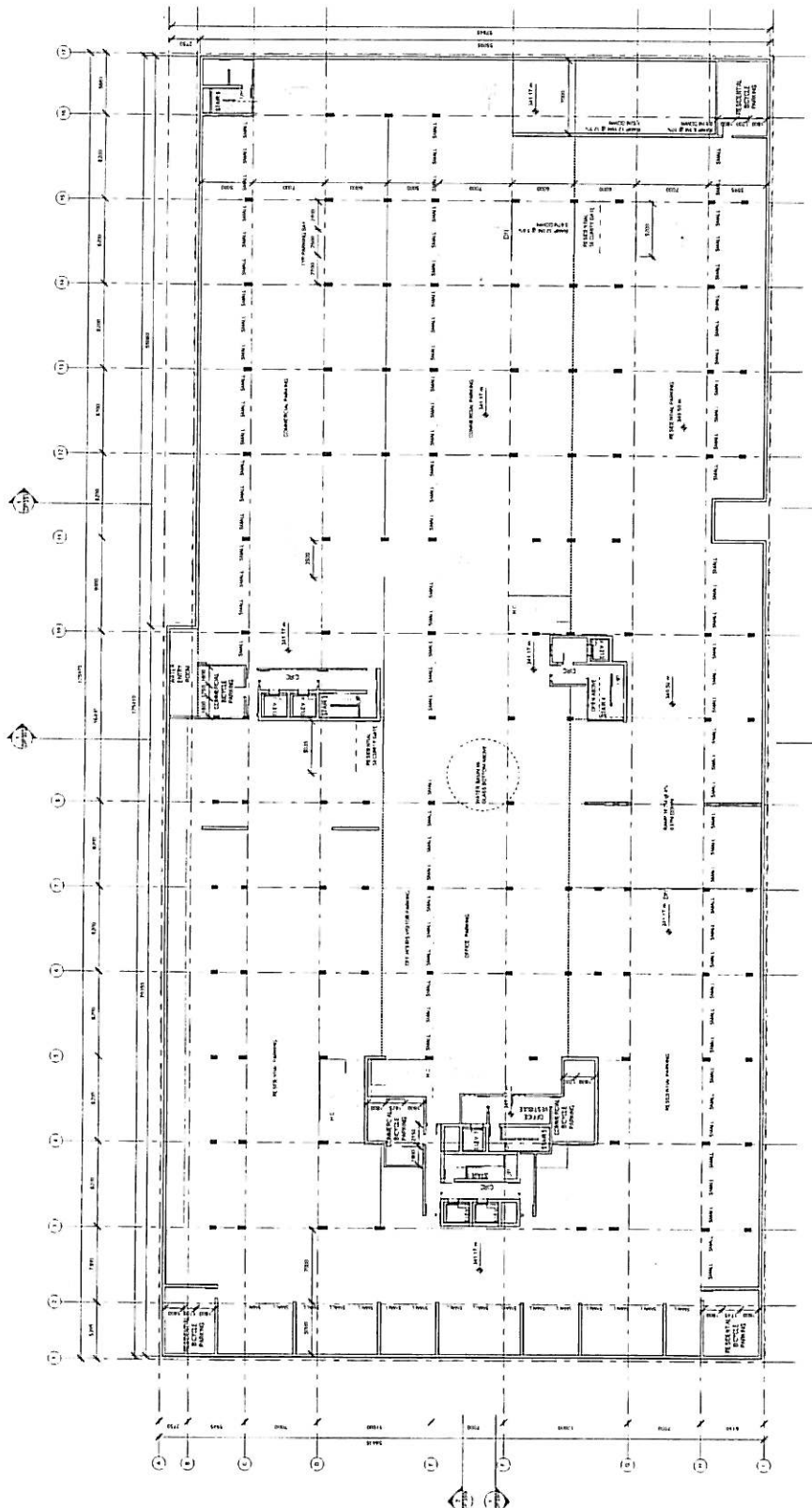


Sheet Information	
Date	01/11/17
Job Number	0111
Drawn	Tam
Checked	Chad
Approved	CD
Title	

FLOOR PLAN B1

Sheet
DP200

Copyright © 2017 Busby Perkins + Will



BELOW GRADE PARKING

FLOOR PLAN B1

Parking Schedule Bicycles		
Category	Count	Count
Residential	58	
Commercial	20	
Grand Total	78	

Parking Schedule Cars		
Category	Size	Count
Commercial	Regular	45
Commercial	Small	40
Residential	Regular	94
Residential	Small	54
Disabled	(6000-1100)	110
Grand Total		215

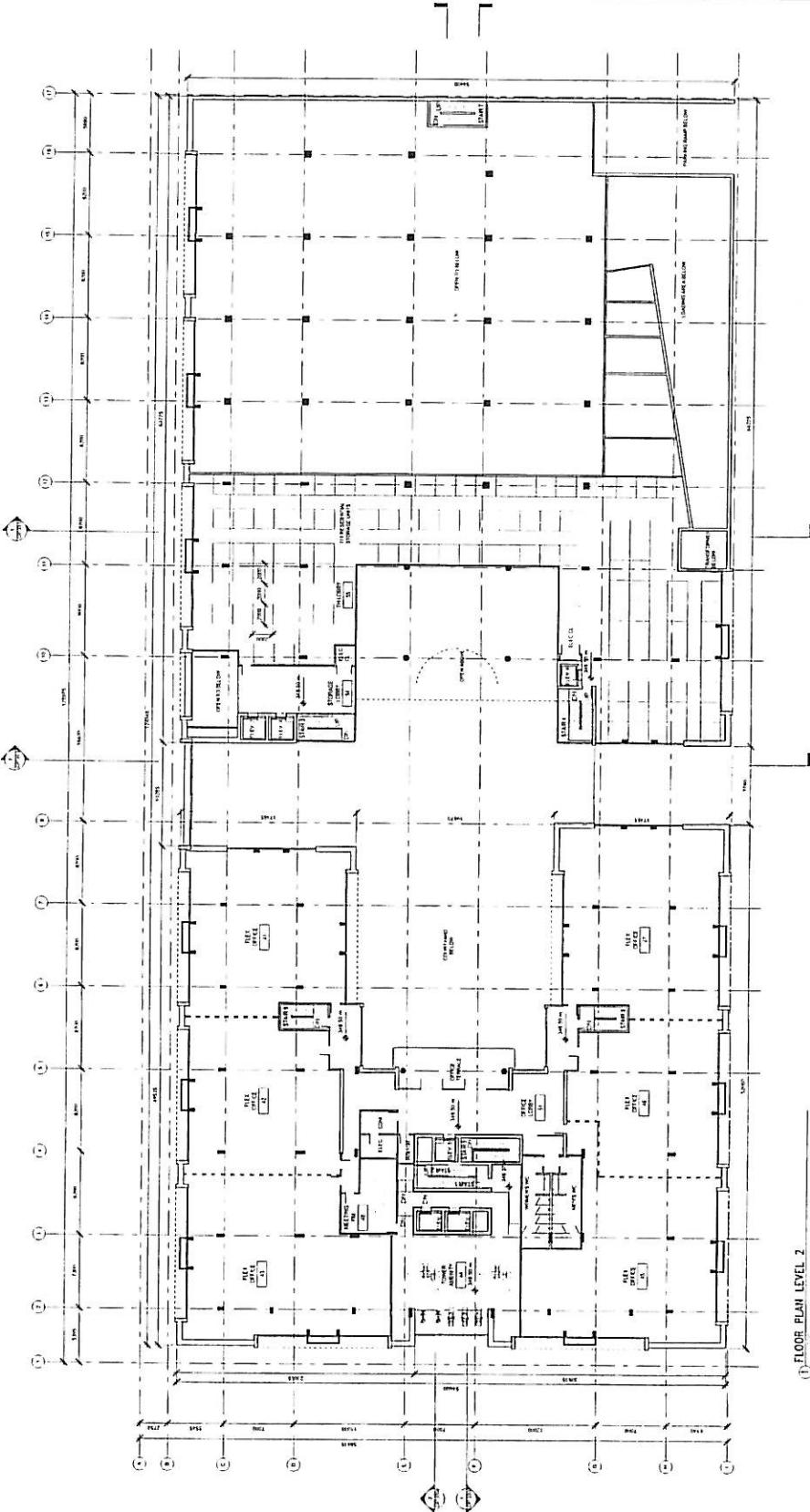


Sheet Information	
Date	02.10.2017
Job Number	0171
Drawn	Team
Checked	Checker
Approved	001

**FLOOR PLAN
LEVEL 2**

Sheet
DP202

Copyright © 2017 Busby Perkins + Will

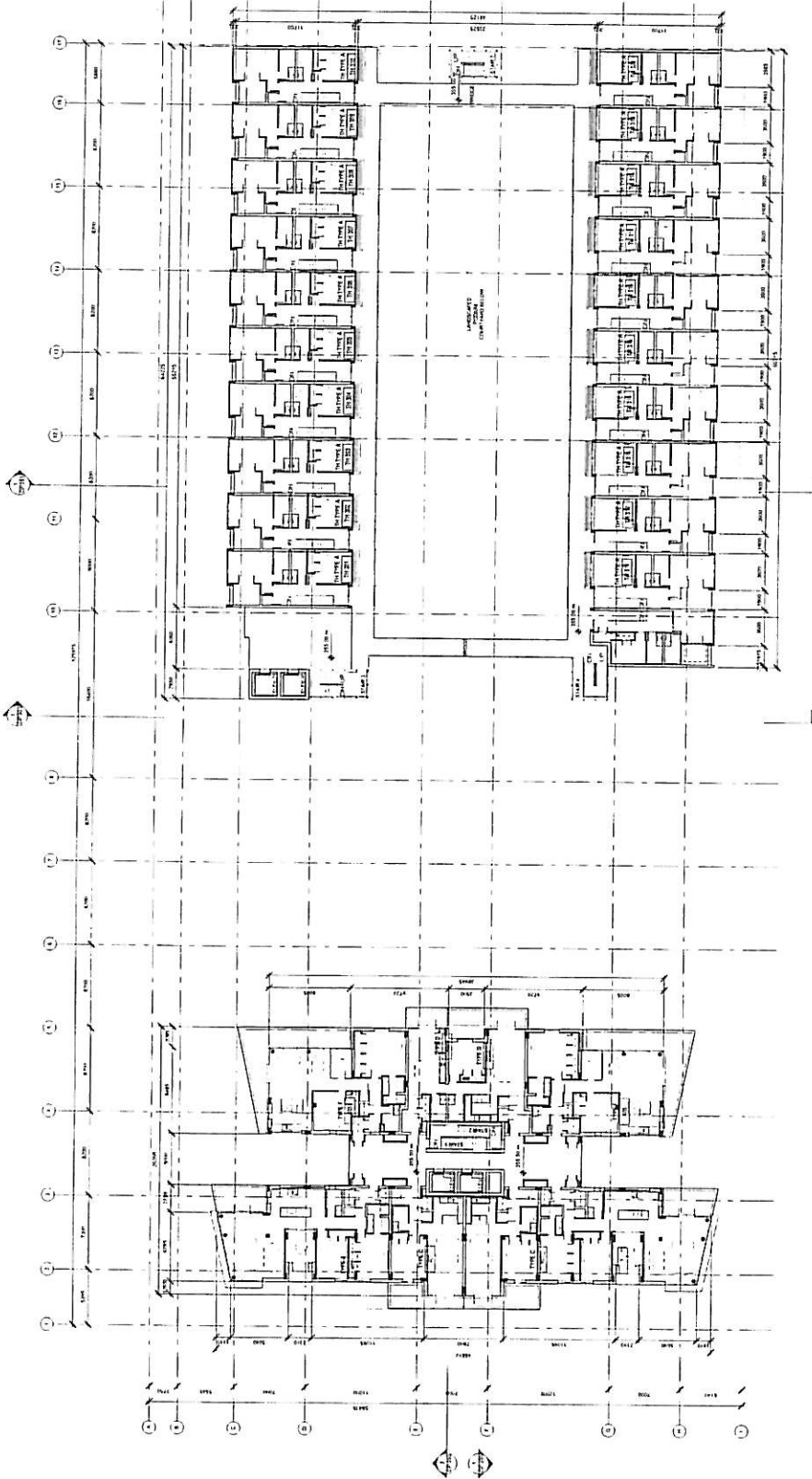


FLOOR PLAN LEVEL 2



Sheet Information	
Date	03/11/10
Job Number	0110
Drawn	Yuan
Checked	Chen
Approved	CD
Title	

FLOOR PLAN
LEVEL 4



FLOOR PLAN LEVEL 4

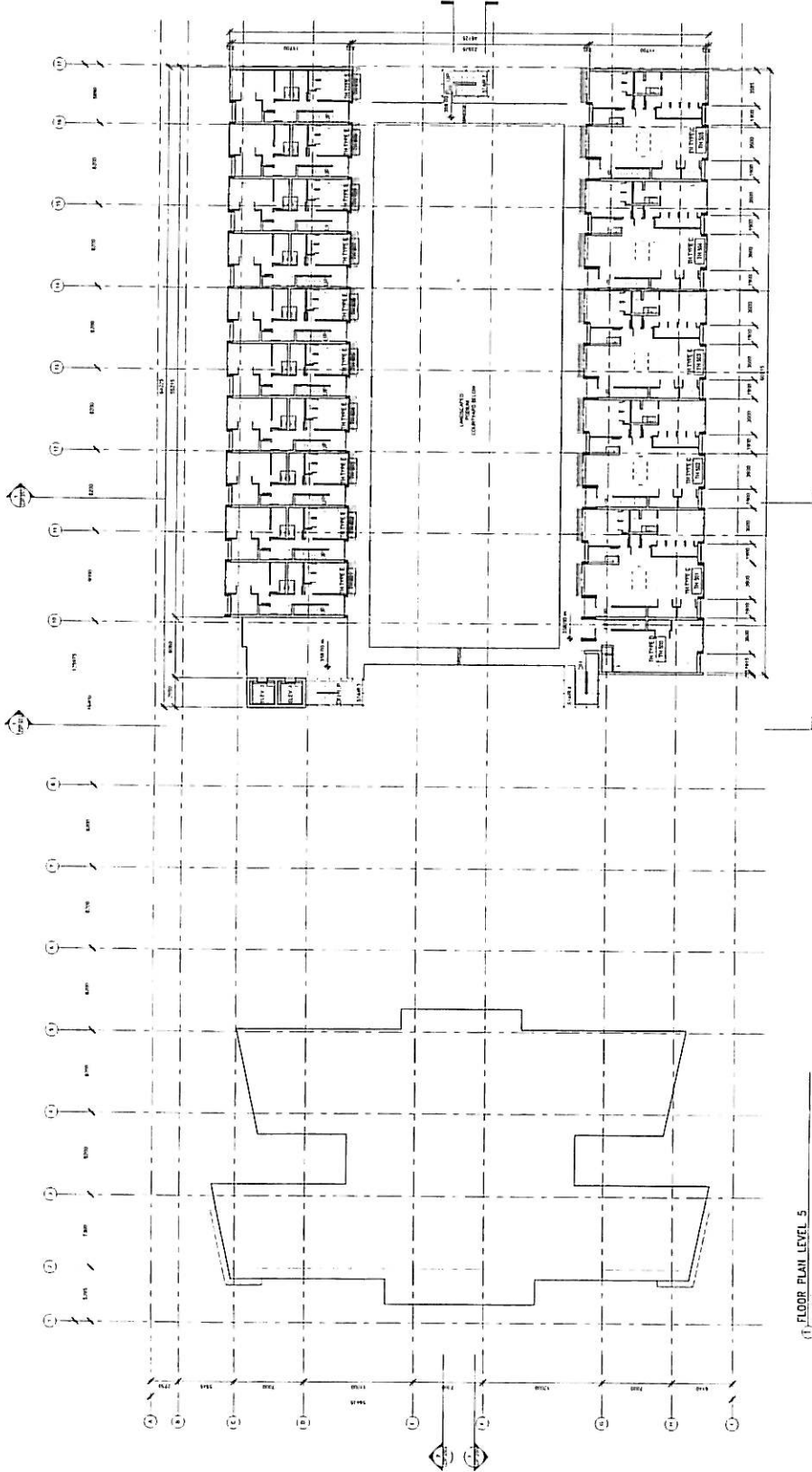


Sheet Information	
Date	03.10.10
Job Number	3000
System	3000
Checked	03/10/10
Approved	03/10/10

**FLOOR PLAN
LEVEL 5**

**Sheet
DP205**

Copyright © 2010 Busby Perkins Will



5. FLOOR PLAN LEVEL 5

1. OFFICE	2. CONFERENCE	3. RECEPTION	4. LOBBY	5. ELEVATOR	6. STAIR
7. OFFICE	8. CONFERENCE	9. RECEPTION	10. LOBBY	11. ELEVATOR	12. STAIR
13. OFFICE	14. CONFERENCE	15. RECEPTION	16. LOBBY	17. ELEVATOR	18. STAIR
19. OFFICE	20. CONFERENCE	21. RECEPTION	22. LOBBY	23. ELEVATOR	24. STAIR
25. OFFICE	26. CONFERENCE	27. RECEPTION	28. LOBBY	29. ELEVATOR	30. STAIR
31. OFFICE	32. CONFERENCE	33. RECEPTION	34. LOBBY	35. ELEVATOR	36. STAIR
37. OFFICE	38. CONFERENCE	39. RECEPTION	40. LOBBY	41. ELEVATOR	42. STAIR
43. OFFICE	44. CONFERENCE	45. RECEPTION	46. LOBBY	47. ELEVATOR	48. STAIR
49. OFFICE	50. CONFERENCE	51. RECEPTION	52. LOBBY	53. ELEVATOR	54. STAIR
55. OFFICE	56. CONFERENCE	57. RECEPTION	58. LOBBY	59. ELEVATOR	60. STAIR
61. OFFICE	62. CONFERENCE	63. RECEPTION	64. LOBBY	65. ELEVATOR	66. STAIR
67. OFFICE	68. CONFERENCE	69. RECEPTION	70. LOBBY	71. ELEVATOR	72. STAIR
73. OFFICE	74. CONFERENCE	75. RECEPTION	76. LOBBY	77. ELEVATOR	78. STAIR
79. OFFICE	80. CONFERENCE	81. RECEPTION	82. LOBBY	83. ELEVATOR	84. STAIR
85. OFFICE	86. CONFERENCE	87. RECEPTION	88. LOBBY	89. ELEVATOR	90. STAIR
91. OFFICE	92. CONFERENCE	93. RECEPTION	94. LOBBY	95. ELEVATOR	96. STAIR
97. OFFICE	98. CONFERENCE	99. RECEPTION	100. LOBBY	101. ELEVATOR	102. STAIR
103. OFFICE	104. CONFERENCE	105. RECEPTION	106. LOBBY	107. ELEVATOR	108. STAIR
109. OFFICE	110. CONFERENCE	111. RECEPTION	112. LOBBY	113. ELEVATOR	114. STAIR
115. OFFICE	116. CONFERENCE	117. RECEPTION	118. LOBBY	119. ELEVATOR	120. STAIR
121. OFFICE	122. CONFERENCE	123. RECEPTION	124. LOBBY	125. ELEVATOR	126. STAIR
127. OFFICE	128. CONFERENCE	129. RECEPTION	130. LOBBY	131. ELEVATOR	132. STAIR
133. OFFICE	134. CONFERENCE	135. RECEPTION	136. LOBBY	137. ELEVATOR	138. STAIR
139. OFFICE	140. CONFERENCE	141. RECEPTION	142. LOBBY	143. ELEVATOR	144. STAIR
145. OFFICE	146. CONFERENCE	147. RECEPTION	148. LOBBY	149. ELEVATOR	150. STAIR
151. OFFICE	152. CONFERENCE	153. RECEPTION	154. LOBBY	155. ELEVATOR	156. STAIR
157. OFFICE	158. CONFERENCE	159. RECEPTION	160. LOBBY	161. ELEVATOR	162. STAIR
163. OFFICE	164. CONFERENCE	165. RECEPTION	166. LOBBY	167. ELEVATOR	168. STAIR
169. OFFICE	170. CONFERENCE	171. RECEPTION	172. LOBBY	173. ELEVATOR	174. STAIR
175. OFFICE	176. CONFERENCE	177. RECEPTION	178. LOBBY	179. ELEVATOR	180. STAIR
181. OFFICE	182. CONFERENCE	183. RECEPTION	184. LOBBY	185. ELEVATOR	186. STAIR
187. OFFICE	188. CONFERENCE	189. RECEPTION	190. LOBBY	191. ELEVATOR	192. STAIR
193. OFFICE	194. CONFERENCE	195. RECEPTION	196. LOBBY	197. ELEVATOR	198. STAIR
199. OFFICE	200. CONFERENCE	201. RECEPTION	202. LOBBY	203. ELEVATOR	204. STAIR
205. OFFICE	206. CONFERENCE	207. RECEPTION	208. LOBBY	209. ELEVATOR	210. STAIR
211. OFFICE	212. CONFERENCE	213. RECEPTION	214. LOBBY	215. ELEVATOR	216. STAIR
217. OFFICE	218. CONFERENCE	219. RECEPTION	220. LOBBY	221. ELEVATOR	222. STAIR
223. OFFICE	224. CONFERENCE	225. RECEPTION	226. LOBBY	227. ELEVATOR	228. STAIR
229. OFFICE	230. CONFERENCE	231. RECEPTION	232. LOBBY	233. ELEVATOR	234. STAIR
235. OFFICE	236. CONFERENCE	237. RECEPTION	238. LOBBY	239. ELEVATOR	240. STAIR
241. OFFICE	242. CONFERENCE	243. RECEPTION	244. LOBBY	245. ELEVATOR	246. STAIR
247. OFFICE	248. CONFERENCE	249. RECEPTION	250. LOBBY	251. ELEVATOR	252. STAIR
253. OFFICE	254. CONFERENCE	255. RECEPTION	256. LOBBY	257. ELEVATOR	258. STAIR
259. OFFICE	260. CONFERENCE	261. RECEPTION	262. LOBBY	263. ELEVATOR	264. STAIR
265. OFFICE	266. CONFERENCE	267. RECEPTION	268. LOBBY	269. ELEVATOR	270. STAIR
271. OFFICE	272. CONFERENCE	273. RECEPTION	274. LOBBY	275. ELEVATOR	276. STAIR
277. OFFICE	278. CONFERENCE	279. RECEPTION	280. LOBBY	281. ELEVATOR	282. STAIR
283. OFFICE	284. CONFERENCE	285. RECEPTION	286. LOBBY	287. ELEVATOR	288. STAIR
289. OFFICE	290. CONFERENCE	291. RECEPTION	292. LOBBY	293. ELEVATOR	294. STAIR
295. OFFICE	296. CONFERENCE	297. RECEPTION	298. LOBBY	299. ELEVATOR	300. STAIR
301. OFFICE	302. CONFERENCE	303. RECEPTION	304. LOBBY	305. ELEVATOR	306. STAIR
307. OFFICE	308. CONFERENCE	309. RECEPTION	310. LOBBY	311. ELEVATOR	312. STAIR
313. OFFICE	314. CONFERENCE	315. RECEPTION	316. LOBBY	317. ELEVATOR	318. STAIR
319. OFFICE	320. CONFERENCE	321. RECEPTION	322. LOBBY	323. ELEVATOR	324. STAIR
325. OFFICE	326. CONFERENCE	327. RECEPTION	328. LOBBY	329. ELEVATOR	330. STAIR
331. OFFICE	332. CONFERENCE	333. RECEPTION	334. LOBBY	335. ELEVATOR	336. STAIR
337. OFFICE	338. CONFERENCE	339. RECEPTION	340. LOBBY	341. ELEVATOR	342. STAIR
343. OFFICE	344. CONFERENCE	345. RECEPTION	346. LOBBY	347. ELEVATOR	348. STAIR
349. OFFICE	350. CONFERENCE	351. RECEPTION	352. LOBBY	353. ELEVATOR	354. STAIR
355. OFFICE	356. CONFERENCE	357. RECEPTION	358. LOBBY	359. ELEVATOR	360. STAIR
361. OFFICE	362. CONFERENCE	363. RECEPTION	364. LOBBY	365. ELEVATOR	366. STAIR
367. OFFICE	368. CONFERENCE	369. RECEPTION	370. LOBBY	371. ELEVATOR	372. STAIR
373. OFFICE	374. CONFERENCE	375. RECEPTION	376. LOBBY	377. ELEVATOR	378. STAIR
379. OFFICE	380. CONFERENCE	381. RECEPTION	382. LOBBY	383. ELEVATOR	384. STAIR
385. OFFICE	386. CONFERENCE	387. RECEPTION	388. LOBBY	389. ELEVATOR	390. STAIR
391. OFFICE	392. CONFERENCE	393. RECEPTION	394. LOBBY	395. ELEVATOR	396. STAIR
397. OFFICE	398. CONFERENCE	399. RECEPTION	400. LOBBY	401. ELEVATOR	402. STAIR
403. OFFICE	404. CONFERENCE	405. RECEPTION	406. LOBBY	407. ELEVATOR	408. STAIR
409. OFFICE	410. CONFERENCE	411. RECEPTION	412. LOBBY	413. ELEVATOR	414. STAIR
415. OFFICE	416. CONFERENCE	417. RECEPTION	418. LOBBY	419. ELEVATOR	420. STAIR
421. OFFICE	422. CONFERENCE	423. RECEPTION	424. LOBBY	425. ELEVATOR	426. STAIR
427. OFFICE	428. CONFERENCE	429. RECEPTION	430. LOBBY	431. ELEVATOR	432. STAIR
433. OFFICE	434. CONFERENCE	435. RECEPTION	436. LOBBY	437. ELEVATOR	438. STAIR
439. OFFICE	440. CONFERENCE	441. RECEPTION	442. LOBBY	443. ELEVATOR	444. STAIR
445. OFFICE	446. CONFERENCE	447. RECEPTION	448. LOBBY	449. ELEVATOR	450. STAIR
451. OFFICE	452. CONFERENCE	453. RECEPTION	454. LOBBY	455. ELEVATOR	456. STAIR
457. OFFICE	458. CONFERENCE	459. RECEPTION	460. LOBBY	461. ELEVATOR	462. STAIR
463. OFFICE	464. CONFERENCE	465. RECEPTION	466. LOBBY	467. ELEVATOR	468. STAIR
469. OFFICE	470. CONFERENCE	471. RECEPTION	472. LOBBY	473. ELEVATOR	474. STAIR
475. OFFICE	476. CONFERENCE	477. RECEPTION	478. LOBBY	479. ELEVATOR	480. STAIR
481. OFFICE	482. CONFERENCE	483. RECEPTION	484. LOBBY	485. ELEVATOR	486. STAIR
487. OFFICE	488. CONFERENCE	489. RECEPTION	490. LOBBY	491. ELEVATOR	492. STAIR
493. OFFICE	494. CONFERENCE	495. RECEPTION	496. LOBBY	497. ELEVATOR	498. STAIR
499. OFFICE	500. CONFERENCE	501. RECEPTION	502. LOBBY	503. ELEVATOR	504. STAIR
505. OFFICE	506. CONFERENCE	507. RECEPTION	508. LOBBY	509. ELEVATOR	510. STAIR
511. OFFICE	512. CONFERENCE	513. RECEPTION	514. LOBBY	515. ELEVATOR	516. STAIR
517. OFFICE	518. CONFERENCE	519. RECEPTION	520. LOBBY	521. ELEVATOR	522. STAIR
523. OFFICE	524. CONFERENCE	525. RECEPTION	526. LOBBY	527. ELEVATOR	528. STAIR
529. OFFICE	530. CONFERENCE	531. RECEPTION	532. LOBBY	533. ELEVATOR	534. STAIR
535. OFFICE	536. CONFERENCE	537. RECEPTION	538. LOBBY	539. ELEVATOR	540. STAIR
541. OFFICE	542. CONFERENCE	543. RECEPTION	544. LOBBY	545. ELEVATOR	546. STAIR
547. OFFICE	548. CONFERENCE	549. RECEPTION	550. LOBBY	551. ELEVATOR	552. STAIR
553. OFFICE	554. CONFERENCE	555. RECEPTION	556. LOBBY	557. ELEVATOR	558. STAIR
559. OFFICE	560. CONFERENCE	561. RECEPTION	562. LOBBY	563. ELEVATOR	564. STAIR
565. OFFICE	566. CONFERENCE	567. RECEPTION	568. LOBBY	569. ELEVATOR	570. STAIR
571. OFFICE	572. CONFERENCE	573. RECEPTION	574. LOBBY	575. ELEVATOR	576. STAIR
577. OFFICE	578. CONFERENCE	579. RECEPTION	580. LOBBY	581. ELEVATOR	582. STAIR
583. OFFICE	584. CONFERENCE	585. RECEPTION	586. LOBBY	587. ELEVATOR	588. STAIR
589. OFFICE	590. CONFERENCE	591. RECEPTION	592. LOBBY	593. ELEVATOR	594. STAIR
595. OFFICE	596. CONFERENCE	597. RECEPTION	598. LOBBY	599. ELEVATOR	600. STAIR
601. OFFICE	602. CONFERENCE	603. RECEPTION	604. LOBBY	605. ELEVATOR	606. STAIR
607. OFFICE	608. CONFERENCE	609. RECEPTION	610. LOBBY	611. ELEVATOR	612. STAIR
613. OFFICE	614. CONFERENCE	615. RECEPTION	616. LOBBY	617. ELEVATOR	618. STAIR
619. OFFICE	620. CONFERENCE	621. RECEPTION	622. LOBBY	623. ELEVATOR	624. STAIR
625. OFFICE	626. CONFERENCE	627. RECEPTION	628. LOBBY	629. ELEVATOR	630. STAIR
631. OFFICE	632. CONFERENCE	633. RECEPTION	634. LOBBY	635. ELEVATOR	636. STAIR
637. OFFICE	638. CONFERENCE	639. RECEPTION	640. LOBBY	641. ELEVATOR	642. STAIR
643. OFFICE	644. CONFERENCE	645. RECEPTION	646. LOBBY	647. ELEVATOR	648. STAIR
649. OFFICE	650. CONFERENCE	651. RECEPTION	652. LOBBY	653. ELEVATOR	654. STAIR
655. OFFICE	656. CONFERENCE	657. RECEPTION	658. LOBBY	659. ELEVATOR	660. STAIR
661. OFFICE	662. CONFERENCE	663. RECEPTION	664. LOBBY	665. ELEVATOR	666. STAIR
667. OFFICE	668. CONFERENCE	669. RECEPTION	670. LOBBY	671. ELEVATOR	672. STAIR
673. OFFICE	674. CONFERENCE	675. RECEPTION	676. LOBBY	677. ELEVATOR	678. STAIR
679. OFFICE	680. CONFERENCE	681. RECEPTION	682. LOBBY	683. ELEVATOR	684. STAIR
685. OFFICE	686. CONFERENCE	687. RECEPTION	688. LOBBY	689. ELEVATOR	690. STAIR
691. OFFICE	692. CONFERENCE	693. RECEPTION	694. LOBBY	695. ELEVATOR	696. STAIR
697. OFFICE	698. CONFERENCE	699. RECEPTION	700. LOBBY	701. ELEVATOR	702. STAIR
703. OFFICE	704. CONFERENCE	705. RECEPTION	706. LOBBY	707. ELEVATOR	708. STAIR
709. OFFICE	710. CONFERENCE	711. RECEPTION	712. LOBBY	713. ELEVATOR	714. STAIR
715. OFFICE	716. CONFERENCE	717. RECEPTION	718. LOBBY	719. ELEVATOR	720. STAIR
721. OFFICE	722. CONFERENCE	723. RECEPTION	724. LOBBY	725. ELEVATOR	726. STAIR
727. OFFICE	728. CONFERENCE	729. RECEPTION	730. LOBBY	731. ELEVATOR	732. STAIR
733. OFFICE	734. CONFERENCE	735. RECEPTION	736. LOBBY	737. ELEVATOR	738. STAIR
739. OFFICE	740. CONFERENCE	741. RECEPTION	742. LOBBY	743. ELEVATOR	744. STAIR
745. OFFICE	746. CONFERENCE	747. RECEPTION	748. LOBBY	749. ELEVATOR	750. STAIR
751. OFFICE	752. CONFERENCE	753. RECEPTION	754. LOBBY	755. ELEVATOR	756. STAIR
757. OFFICE	758. CONFERENCE	759. RECEPTION	760. LOBBY	761. ELEVATOR	762. STAIR
763. OFFICE	764. CONFERENCE	765. RECEPTION	766. LOBBY	767. ELEVATOR	768. STAIR
769. OFFICE	770. CONFERENCE	771. RECEPTION	772. LOBBY	773. ELEVATOR	774. STAIR
775. OFFICE	776. CONFERENCE	777. RECEPTION	778. LOBBY	779. ELEVATOR	780. STAIR
781. OFFICE	782. CONFERENCE	783. RECEPTION	784. LOBBY	785. ELEVATOR	786. STAIR
787. OFFICE	788. CONFERENCE	789. RECEPTION	790. LOBBY	791. ELEVATOR	792. STAIR
793. OFFICE	794. CONFERENCE	795. RECEPTION	796. LOBBY	797. ELEVATOR	798. STAIR
799. OFFICE	800. CONFERENCE	801. RECEPTION	802. LOBBY	803. ELEVATOR	804. STAIR
805. OFFICE	806. CONFERENCE	807. RECEPTION	808. LOBBY	809. ELEVATOR	810. STAIR
811. OFFICE	812. CONFERENCE	813. RECEPTION	814. LOBBY	815. ELEVATOR	816. STAIR
817. OFFICE	818. CONFERENCE	819. RECEPTION	820. LOBBY	821. ELEVATOR	822. STAIR
823. OFFICE	824. CONFERENCE	825. RECEPTION	826. LOBBY	827. ELEVATOR	828. STAIR
829. OFFICE	830. CONFERENCE	831. RECEPTION	832. LOBBY	833. ELEVATOR	834. STAIR
835. OFFICE	836. CONFERENCE	837. RECEPTION	838. LOBBY	839. ELEVATOR	840. STAIR
841. OFFICE	842. CONFERENCE	843. RECEPTION	844. LOBBY	845. ELEVATOR	846. STAIR
847. OFFICE	848. CONFERENCE	849. RECEPTION	850. LOBBY	851. ELEVATOR	852. STAIR
853. OFFICE	854. CONFERENCE	855. RECEPTION	856. LOBBY	857. ELEVATOR	858. STAIR
859. OFFICE	860. CONFERENCE	861. RECEPTION	862. LOBBY	863. ELEVATOR	864. STAIR
865. OFFICE	866. CONFERENCE	867. RECEPTION	868. LOBBY	869. ELEVATOR	870. STAIR
871. OFFICE	872. CONFERENCE	873. RECEPTION	874. LOBBY	875. ELEVATOR	876. STAIR
877. OFFICE	878. CONFERENCE	879. RECEPTION	880. LOBBY	881. ELEVATOR	882. STAIR
883. OFFICE	884. CONFERENCE	885. RECEPTION	886. LOBBY	887. ELEVATOR	888. STAIR
889. OFFICE	890. CONFERENCE	891. RECEPTION	892. LOBBY	893. ELEVATOR	894. STAIR
895. OFFICE	896. CONFERENCE	897. RECEPTION	898. LOBBY	899. ELEVATOR	900. STAIR
901. OFFICE	902. CONFERENCE	903. RECEPTION	904. LOBBY	905. ELEVATOR	906. STAIR
907. OFFICE	908. CONFERENCE	909. RECEPTION	910. LOBBY	911. ELEVATOR	912. STAIR
913. OFFICE	914. CONFERENCE	915. RECEPTION	916. LOBBY	917. ELEVATOR	918. STAIR
919. OFFICE	920. CONFERENCE	921. RECEPTION	922. LOBBY	923. ELEVATOR	924. STAIR
925. OFFICE	926. CONFERENCE	927. RECEPTION	928. LOBBY	929. ELEVATOR	930. STAIR
931. OFFICE	932. CONFERENCE	933. RECEPTION	934. LOBBY	935. ELEVATOR	936. STAIR
937. OFFICE	938. CONFERENCE	939. RECEPTION	940. LOBBY	941. ELEVATOR	942. STAIR
943. OFFICE	944. CONFERENCE	945. RECEPTION	946. LOBBY	947. ELEVATOR	948. STAIR
949. OFFICE	950. CONFERENCE	951. RECEPTION	952. LOBBY	953. ELEVATOR	954. STAIR
955. OFFICE	956. CONFERENCE	957. RECEPTION	958. LOBBY	959. ELEVATOR	960. STAIR
961. OFFICE	962. CONFERENCE	963. RECEPTION	964. LOBBY	965. ELEVATOR	966. STAIR
967. OFFICE	968. CONFERENCE	969. RECEPTION	970. LOBBY	971. ELEVATOR	972. STAIR
973. OFFICE	974. CONFERENCE	975. RECEPTION	976. LOBBY	977. ELEVATOR	978. STAIR
979. OFFICE	980. CONFERENCE	981. RECEPTION	982. LOBBY	983. ELEVATOR	984. STAIR
985. OFFICE	986. CONFERENCE	987. RECEPTION	988. LOBBY	989. ELEVATOR	990. STAIR
991. OFFICE	992. CONFERENCE	993. RECEPTION	994. LOBBY	995. ELEVATOR	996. STAIR
997. OFFICE	998. CONFERENCE	999. RECEPTION	1000. LOBBY	1001. ELEVATOR	1002. STAIR
1003. OFFICE	1004. CONFERENCE	1005. RECEPTION	1006. LOBBY	1007. ELEVATOR	1008. STAIR
1009. OFFICE	1010. CONFERENCE	1011. RECEPTION	1012. LOBBY	1013. ELEVATOR	1014. STAIR
1015. OFFICE	1016. CONFERENCE	1017. RECEPTION	1018. LOBBY	1019. ELEVATOR	1020. STAIR
1021. OFFICE	1022. CONFERENCE	1023. RECEPTION	1024. LOBBY	1025. ELEVATOR	1026. STAIR
1027. OFFICE	1028. CONFERENCE	1029. RECEPTION	1030. LOBBY	1031. ELEVATOR	1032. STAIR
1033. OFFICE	1034. CONFERENCE	1035. RECEPTION	1036. LOBBY	1037. ELEVATOR	1038. STAIR

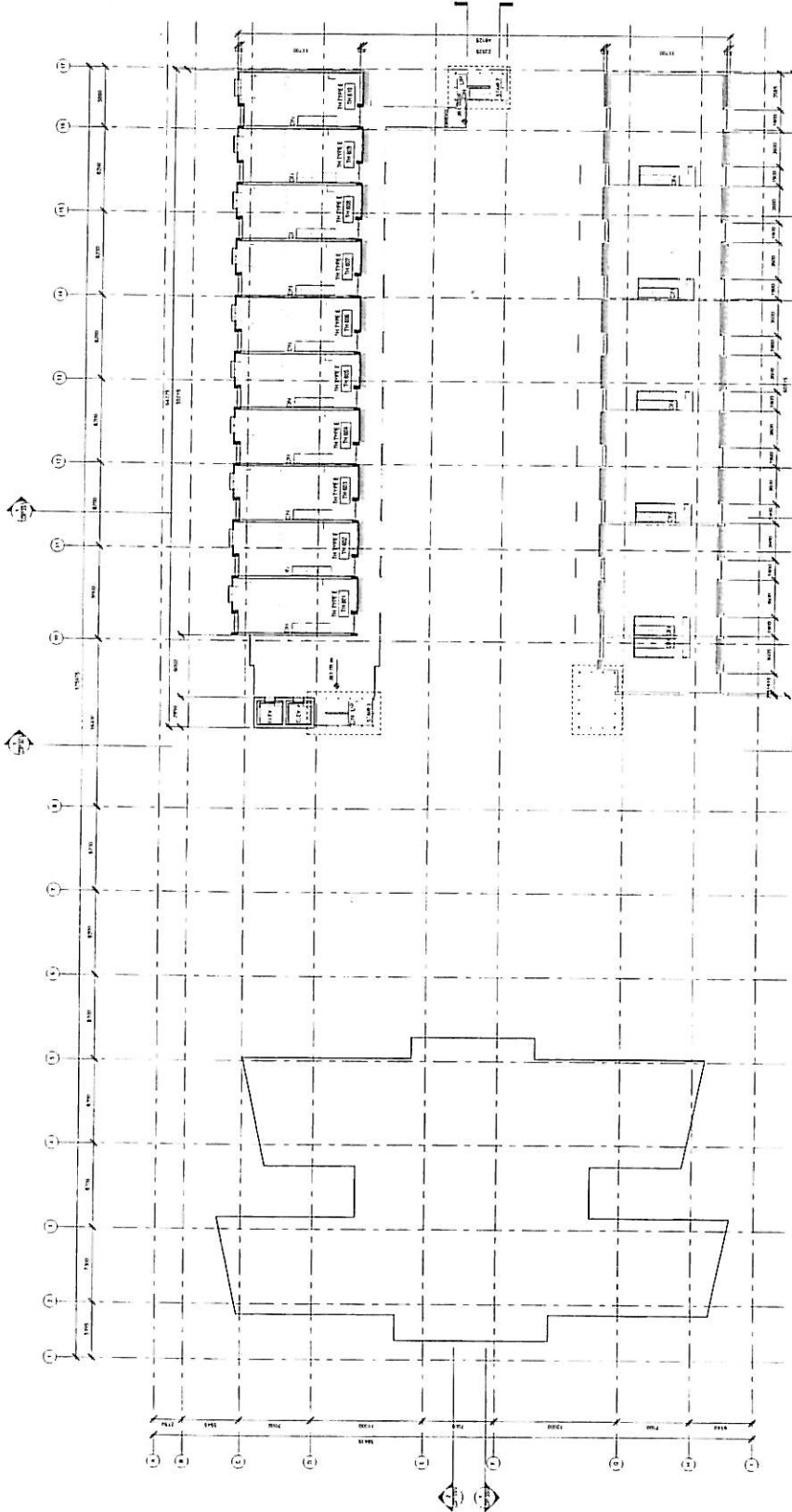


Sheet Information	
Date	01/11/11
Job Number	3000 PANDOSY
Drawn	JPW
Checked	JPW
Approved	JPW

**FLOOR PLAN
LEVEL 6**

Sheet
DP206

Copyright © 2011 Busby Perkins Will



FLOOR PLAN LEVEL 6

1	2	3	4	5	6	7	8	9	10	11	12
1	2	3	4	5	6	7	8	9	10	11	12

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	02.10.07

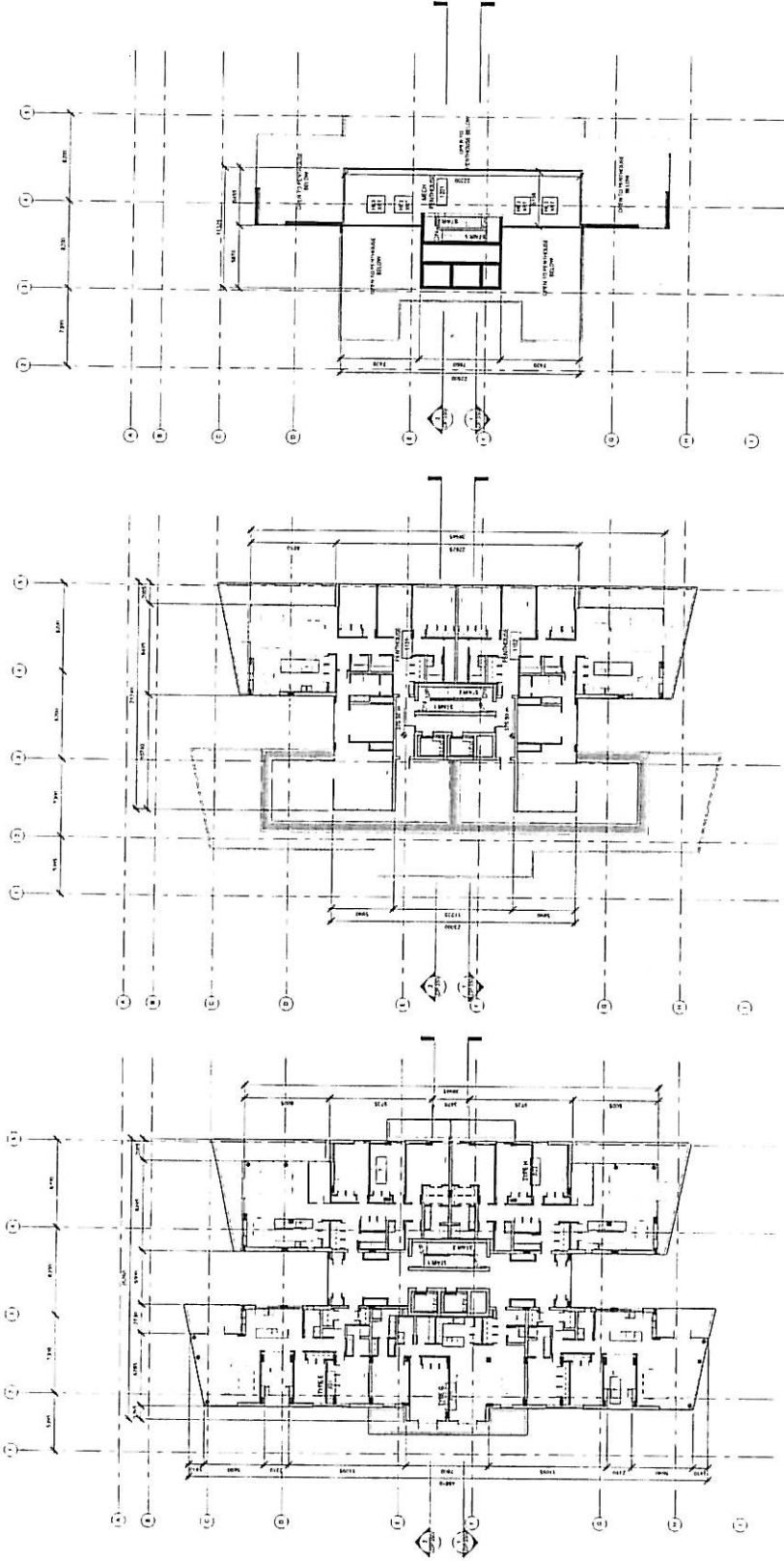


Sheet Information	
Drawn	SLD
Check	SLD
Design	SLD
Reviewed	SLD
Approved	SLD

**FLOOR PLANS
LEVELS 7-10
LEVEL 11 PH**

DP207

Copyright © 2007 Busby Perkins Will



1" = 12'-0"	1/8" = 1'-0"
-------------	--------------

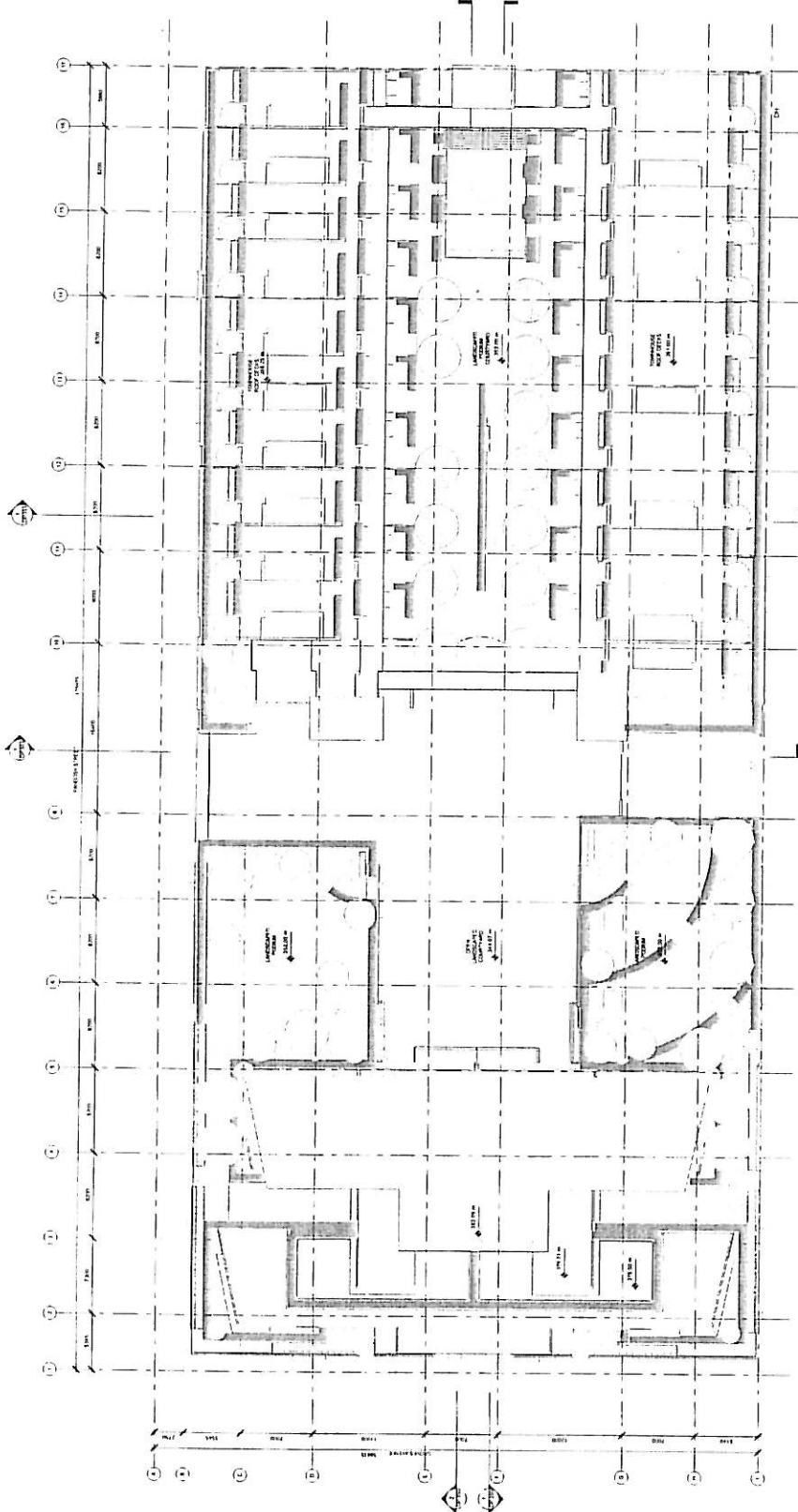
1" = 12'-0"	1/8" = 1'-0"
-------------	--------------



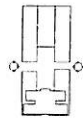
Sheet Information	
Date	01.11.17
Job Number	3113
System	Team
Checked	Checker
Approved	SS
Title	

ROOF PLAN

Sheet
DP208



ROOF PLAN



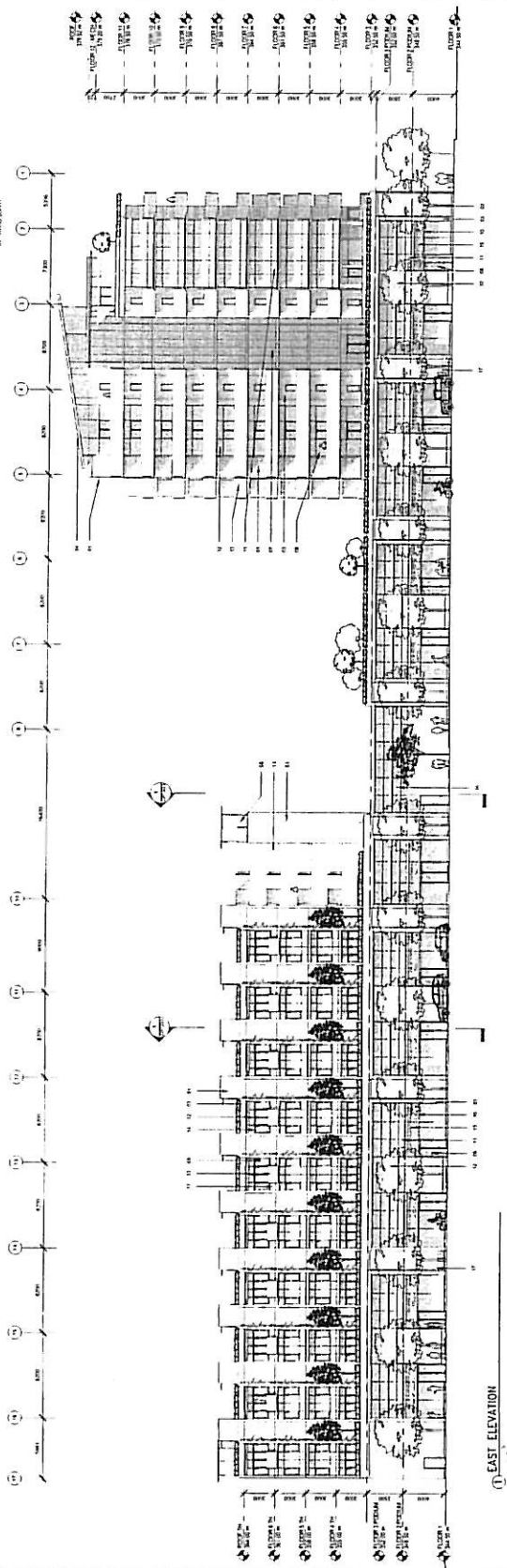
Key plan

Sheet Information	
Date	01/11/11
Job Number	DP300
Drawn	Team
Checked	Checker
Approved	100
Title	
EAST & WEST ELEVATIONS	

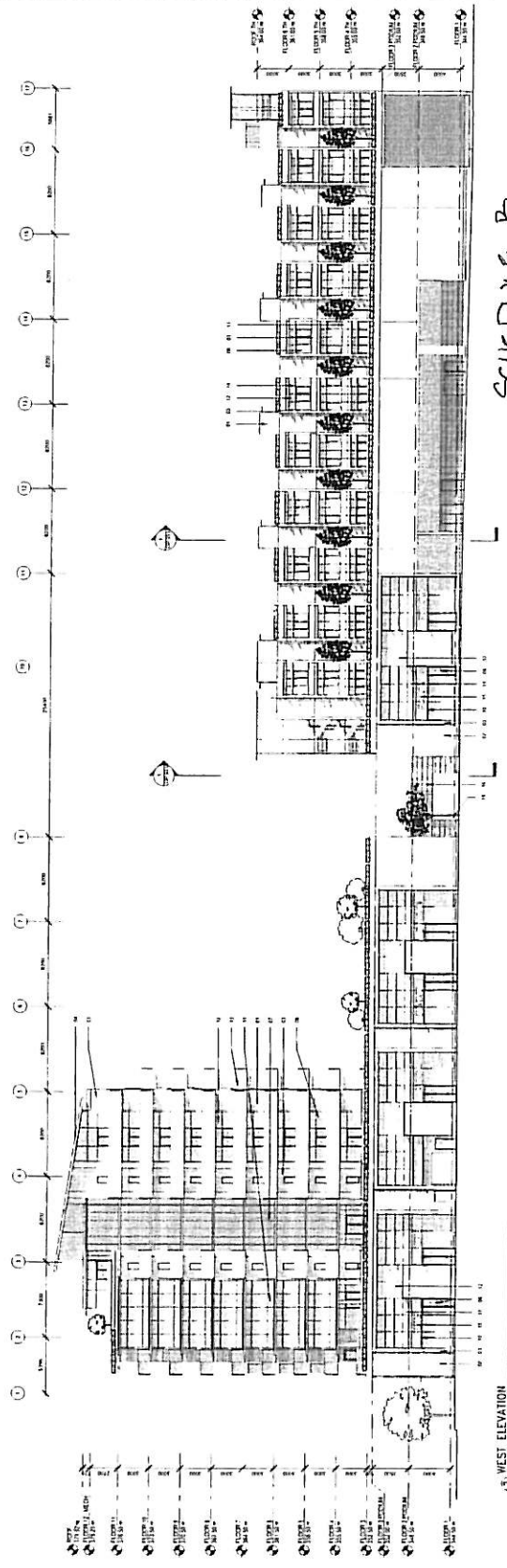
Sheet
DP300

Copyright © 2011 Busby Perkins + Will

- 1. WEST ELEVATION
- 2. EAST ELEVATION
- 3. SOUTH ELEVATION
- 4. NORTH ELEVATION
- 5. SECTION A-A
- 6. SECTION B-B
- 7. SECTION C-C
- 8. SECTION D-D
- 9. SECTION E-E
- 10. SECTION F-F
- 11. SECTION G-G
- 12. SECTION H-H
- 13. SECTION I-I
- 14. SECTION J-J
- 15. SECTION K-K
- 16. SECTION L-L
- 17. SECTION M-M
- 18. SECTION N-N
- 19. SECTION O-O
- 20. SECTION P-P
- 21. SECTION Q-Q
- 22. SECTION R-R
- 23. SECTION S-S
- 24. SECTION T-T
- 25. SECTION U-U
- 26. SECTION V-V
- 27. SECTION W-W
- 28. SECTION X-X
- 29. SECTION Y-Y
- 30. SECTION Z-Z

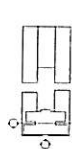


1 EAST ELEVATION



2 WEST ELEVATION

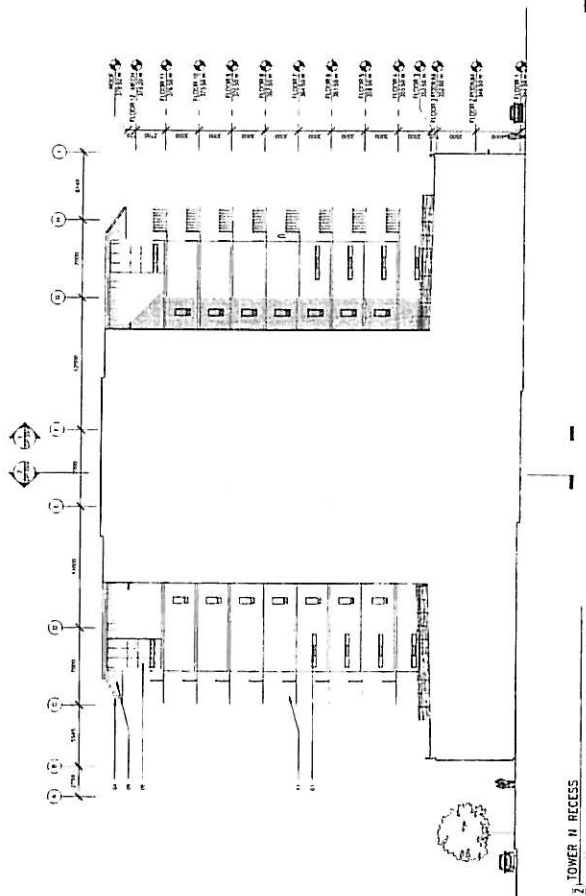
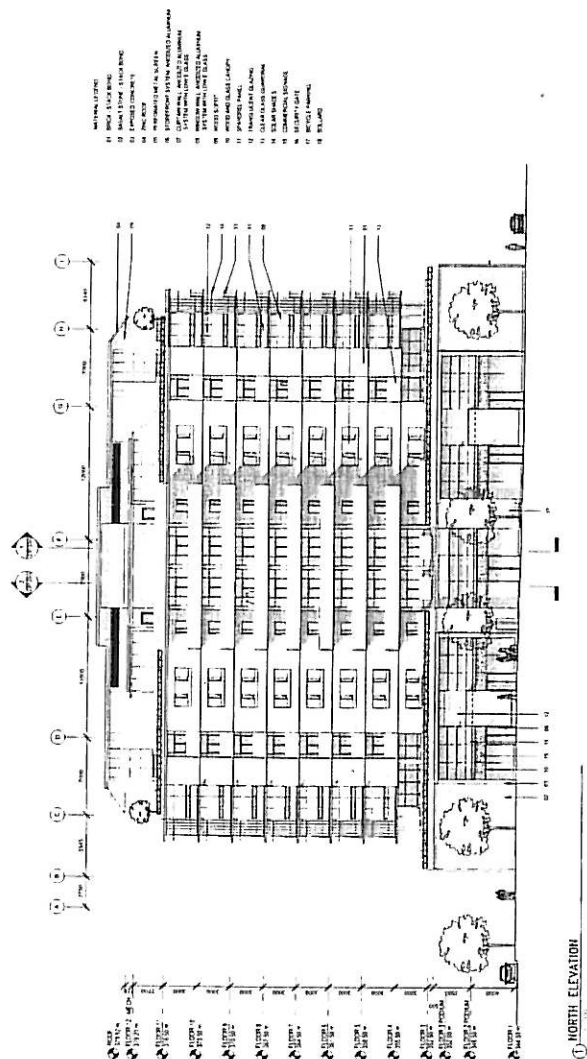
SCHEDULE B1



Key plan

Sheet Information	Revision
Job Number	0111
Drawn	Checked
Approved	02

NORTH
ELEVATION &
NORTH RECESS



SCHEDULE B₂

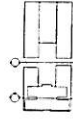
1000 RIVER ST
NEW YORK, NY 10014
212.691.1000
www.busbyperkinswill.com

3000 PANDOSY

PHOTO: JEFFREY M. ROSEN

FENWICK
DEVELOPMENTS
100 RIVER ST
NEW YORK, NY 10014
212.691.1000
www.fenwick.com

NO.	REVISION	DATE
01	ISSUED FOR PERMITS	07.10.17



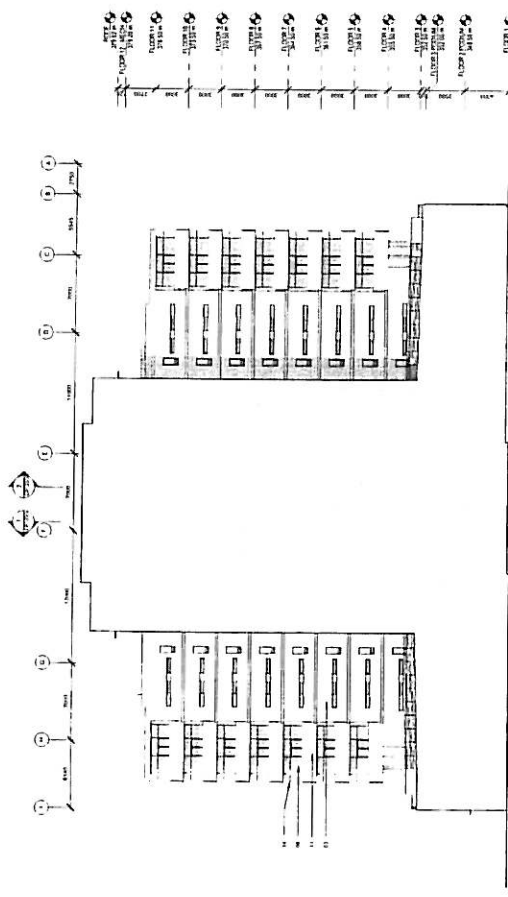
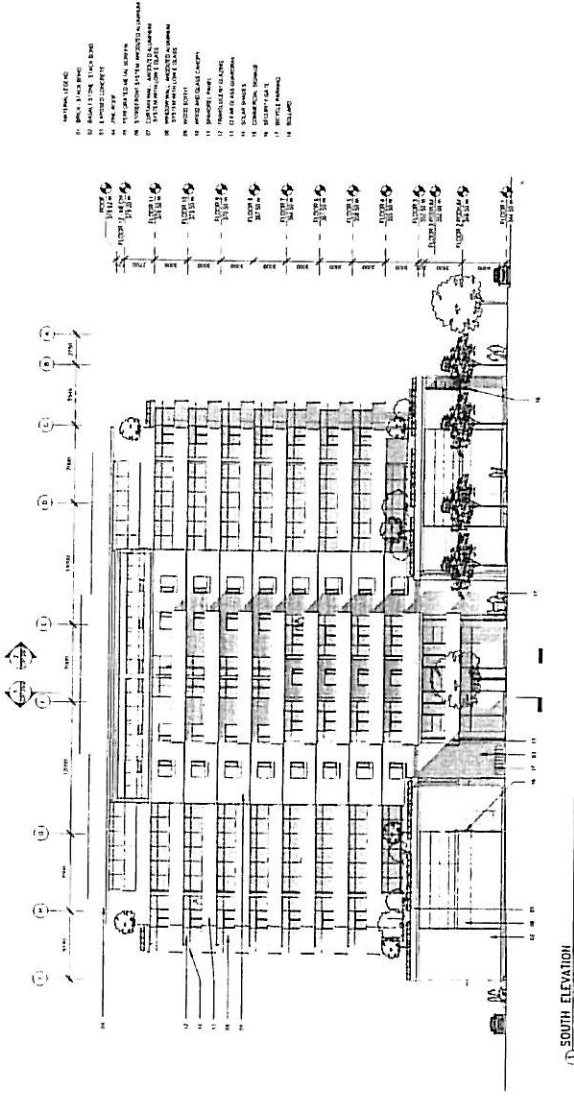
Key plan

Sheet Information	
Drawn	07.10.17
Check	07.10.17
Design	07.10.17
Checked	07.10.17
Approved	07.10.17

SOUTH ELEVATION
& SOUTH RECESS

Sheet
DP302

Copyright © 2017 Busby Perkins Will



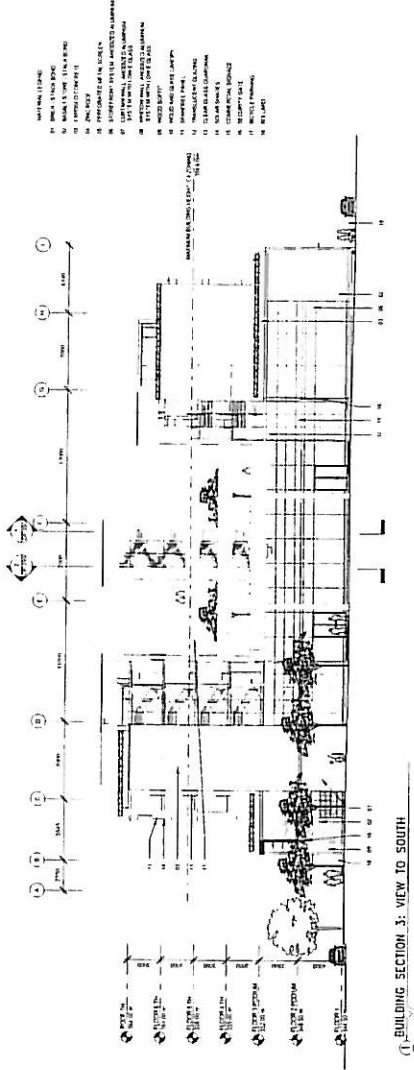
SCHEDULE B₃



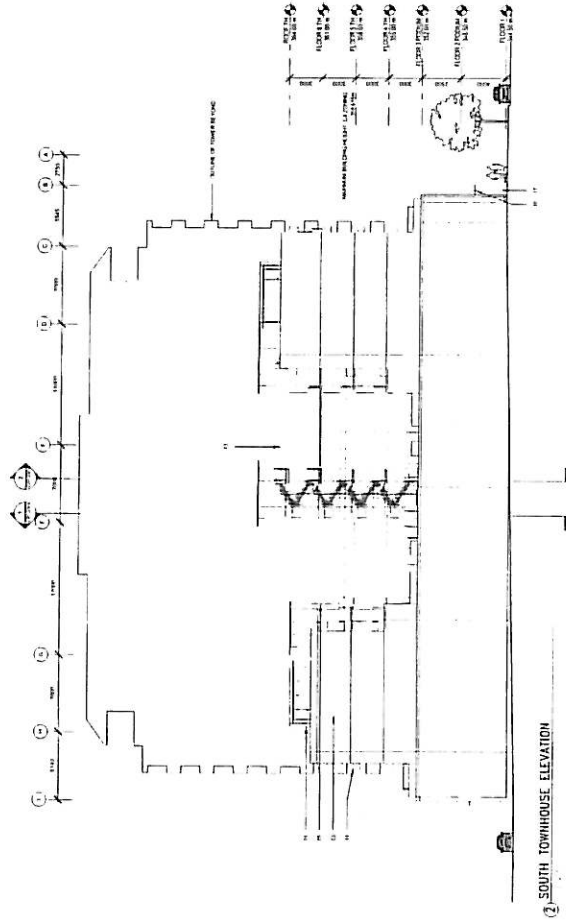
Key plan

Sheet Information	
Date	01.10.07
Drawn by	DP
Checked	DP
Approved	DP

TOWNHOUSE
NORTH & SOUTH
ELEVATIONS



SECTION 3: VIEW TO SOUTH



SOUTH TOWNHOUSE ELEVATION

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	07.10.17



Key plan

Sheet Information		
Date	07.10.17	07.10.17
Job Number	0715	0715
Drawn	Team	Team
Checked	Checker	Checker
Approved	222	222

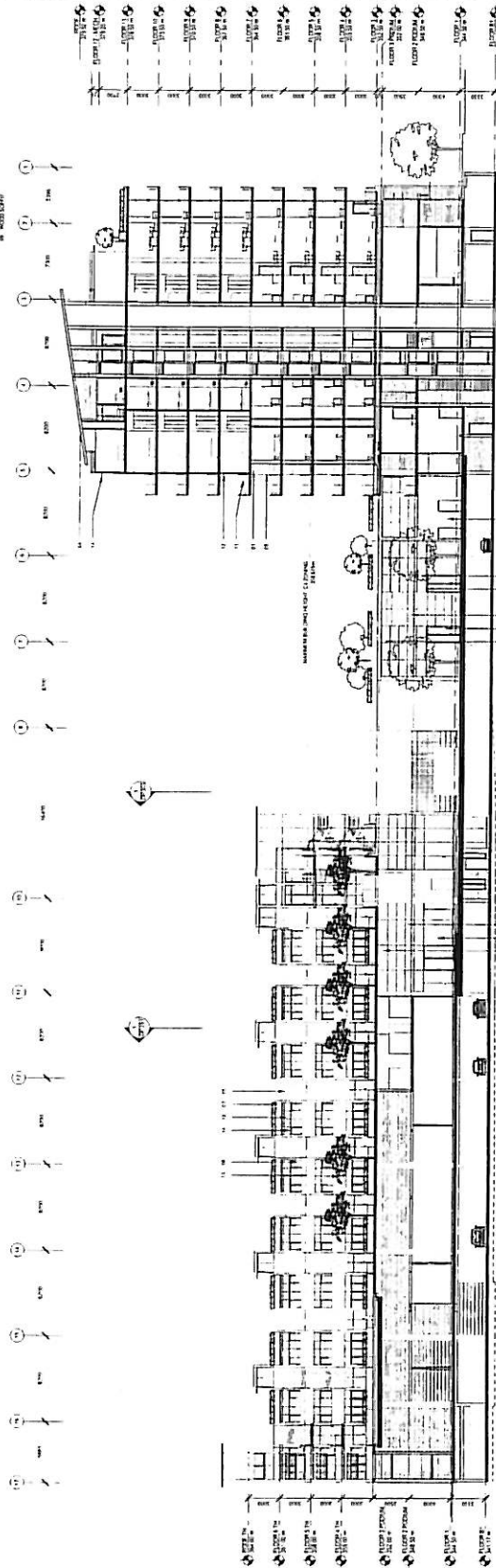
LONGITUDINAL
BUILDING
SECTIONS

Sheet

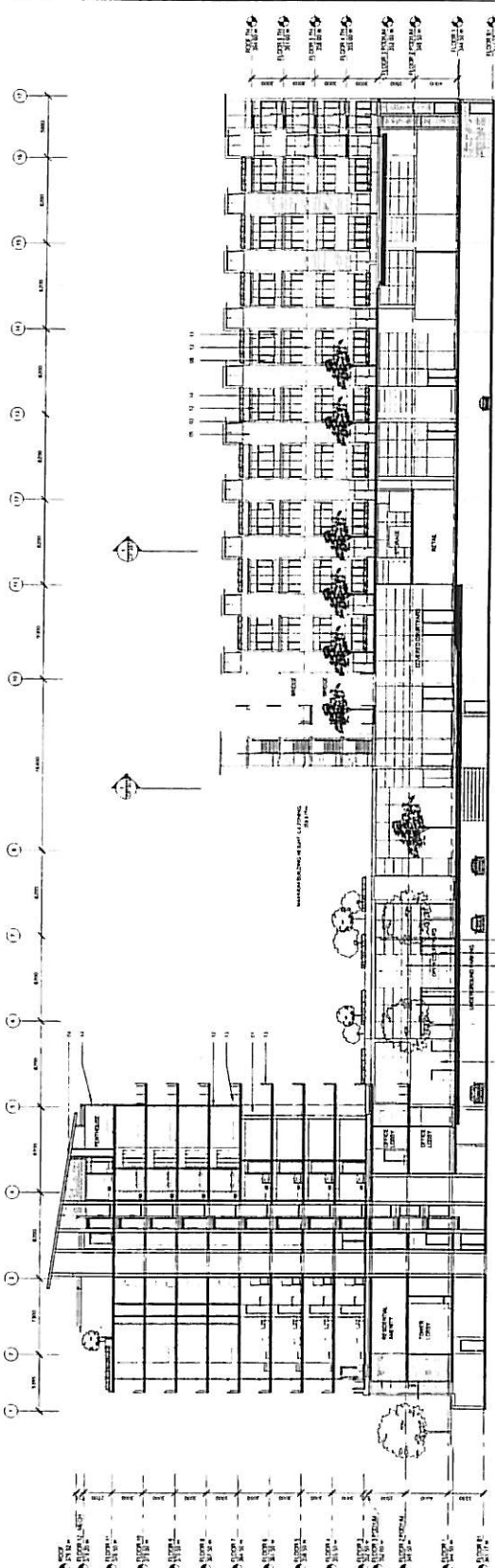
DP350

Copyright © 2017 Busby Perkins + Will

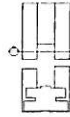
- NOTES:
- 1. SEE SHEET DP349 FOR SECTION 1.
 - 2. SEE SHEET DP351 FOR SECTION 2.
 - 3. SEE SHEET DP352 FOR SECTION 3.
 - 4. SEE SHEET DP353 FOR SECTION 4.
 - 5. SEE SHEET DP354 FOR SECTION 5.
 - 6. SEE SHEET DP355 FOR SECTION 6.
 - 7. SEE SHEET DP356 FOR SECTION 7.
 - 8. SEE SHEET DP357 FOR SECTION 8.
 - 9. SEE SHEET DP358 FOR SECTION 9.
 - 10. SEE SHEET DP359 FOR SECTION 10.
 - 11. SEE SHEET DP360 FOR SECTION 11.
 - 12. SEE SHEET DP361 FOR SECTION 12.
 - 13. SEE SHEET DP362 FOR SECTION 13.
 - 14. SEE SHEET DP363 FOR SECTION 14.
 - 15. SEE SHEET DP364 FOR SECTION 15.
 - 16. SEE SHEET DP365 FOR SECTION 16.
 - 17. SEE SHEET DP366 FOR SECTION 17.
 - 18. SEE SHEET DP367 FOR SECTION 18.
 - 19. SEE SHEET DP368 FOR SECTION 19.
 - 20. SEE SHEET DP369 FOR SECTION 20.
 - 21. SEE SHEET DP370 FOR SECTION 21.
 - 22. SEE SHEET DP371 FOR SECTION 22.
 - 23. SEE SHEET DP372 FOR SECTION 23.
 - 24. SEE SHEET DP373 FOR SECTION 24.
 - 25. SEE SHEET DP374 FOR SECTION 25.
 - 26. SEE SHEET DP375 FOR SECTION 26.
 - 27. SEE SHEET DP376 FOR SECTION 27.
 - 28. SEE SHEET DP377 FOR SECTION 28.
 - 29. SEE SHEET DP378 FOR SECTION 29.
 - 30. SEE SHEET DP379 FOR SECTION 30.
 - 31. SEE SHEET DP380 FOR SECTION 31.
 - 32. SEE SHEET DP381 FOR SECTION 32.
 - 33. SEE SHEET DP382 FOR SECTION 33.
 - 34. SEE SHEET DP383 FOR SECTION 34.
 - 35. SEE SHEET DP384 FOR SECTION 35.
 - 36. SEE SHEET DP385 FOR SECTION 36.
 - 37. SEE SHEET DP386 FOR SECTION 37.
 - 38. SEE SHEET DP387 FOR SECTION 38.
 - 39. SEE SHEET DP388 FOR SECTION 39.
 - 40. SEE SHEET DP389 FOR SECTION 40.
 - 41. SEE SHEET DP390 FOR SECTION 41.
 - 42. SEE SHEET DP391 FOR SECTION 42.
 - 43. SEE SHEET DP392 FOR SECTION 43.
 - 44. SEE SHEET DP393 FOR SECTION 44.
 - 45. SEE SHEET DP394 FOR SECTION 45.
 - 46. SEE SHEET DP395 FOR SECTION 46.
 - 47. SEE SHEET DP396 FOR SECTION 47.
 - 48. SEE SHEET DP397 FOR SECTION 48.
 - 49. SEE SHEET DP398 FOR SECTION 49.
 - 50. SEE SHEET DP399 FOR SECTION 50.
 - 51. SEE SHEET DP400 FOR SECTION 51.
 - 52. SEE SHEET DP401 FOR SECTION 52.
 - 53. SEE SHEET DP402 FOR SECTION 53.
 - 54. SEE SHEET DP403 FOR SECTION 54.
 - 55. SEE SHEET DP404 FOR SECTION 55.
 - 56. SEE SHEET DP405 FOR SECTION 56.
 - 57. SEE SHEET DP406 FOR SECTION 57.
 - 58. SEE SHEET DP407 FOR SECTION 58.
 - 59. SEE SHEET DP408 FOR SECTION 59.
 - 60. SEE SHEET DP409 FOR SECTION 60.
 - 61. SEE SHEET DP410 FOR SECTION 61.
 - 62. SEE SHEET DP411 FOR SECTION 62.
 - 63. SEE SHEET DP412 FOR SECTION 63.
 - 64. SEE SHEET DP413 FOR SECTION 64.
 - 65. SEE SHEET DP414 FOR SECTION 65.
 - 66. SEE SHEET DP415 FOR SECTION 66.
 - 67. SEE SHEET DP416 FOR SECTION 67.
 - 68. SEE SHEET DP417 FOR SECTION 68.
 - 69. SEE SHEET DP418 FOR SECTION 69.
 - 70. SEE SHEET DP419 FOR SECTION 70.
 - 71. SEE SHEET DP420 FOR SECTION 71.
 - 72. SEE SHEET DP421 FOR SECTION 72.
 - 73. SEE SHEET DP422 FOR SECTION 73.
 - 74. SEE SHEET DP423 FOR SECTION 74.
 - 75. SEE SHEET DP424 FOR SECTION 75.
 - 76. SEE SHEET DP425 FOR SECTION 76.
 - 77. SEE SHEET DP426 FOR SECTION 77.
 - 78. SEE SHEET DP427 FOR SECTION 78.
 - 79. SEE SHEET DP428 FOR SECTION 79.
 - 80. SEE SHEET DP429 FOR SECTION 80.
 - 81. SEE SHEET DP430 FOR SECTION 81.
 - 82. SEE SHEET DP431 FOR SECTION 82.
 - 83. SEE SHEET DP432 FOR SECTION 83.
 - 84. SEE SHEET DP433 FOR SECTION 84.
 - 85. SEE SHEET DP434 FOR SECTION 85.
 - 86. SEE SHEET DP435 FOR SECTION 86.
 - 87. SEE SHEET DP436 FOR SECTION 87.
 - 88. SEE SHEET DP437 FOR SECTION 88.
 - 89. SEE SHEET DP438 FOR SECTION 89.
 - 90. SEE SHEET DP439 FOR SECTION 90.
 - 91. SEE SHEET DP440 FOR SECTION 91.
 - 92. SEE SHEET DP441 FOR SECTION 92.
 - 93. SEE SHEET DP442 FOR SECTION 93.
 - 94. SEE SHEET DP443 FOR SECTION 94.
 - 95. SEE SHEET DP444 FOR SECTION 95.
 - 96. SEE SHEET DP445 FOR SECTION 96.
 - 97. SEE SHEET DP446 FOR SECTION 97.
 - 98. SEE SHEET DP447 FOR SECTION 98.
 - 99. SEE SHEET DP448 FOR SECTION 99.
 - 100. SEE SHEET DP449 FOR SECTION 100.



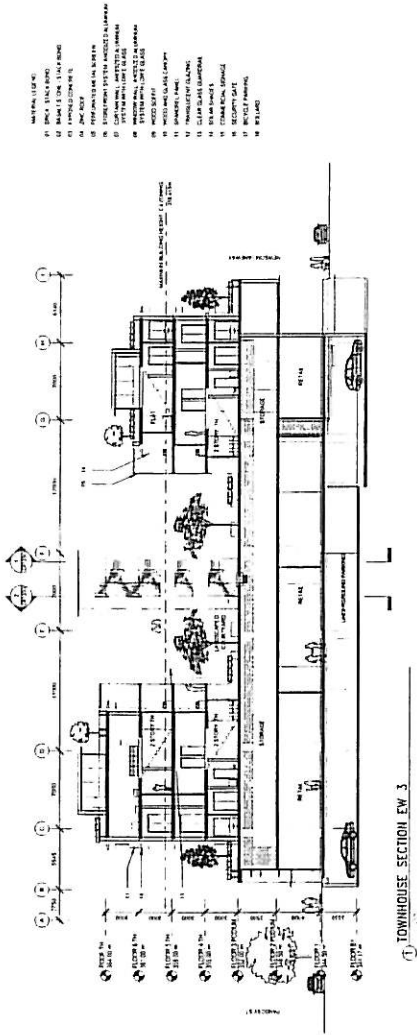
1. BUILDING SECTION 1: VIEW TO WEST



2. BUILDING SECTION 2: VIEW TO EAST



Sheet Information	
Date	07/10/17
Drawn by	JWP
Checked by	JWP
Approved by	JWP



Indoor Environmental Quality

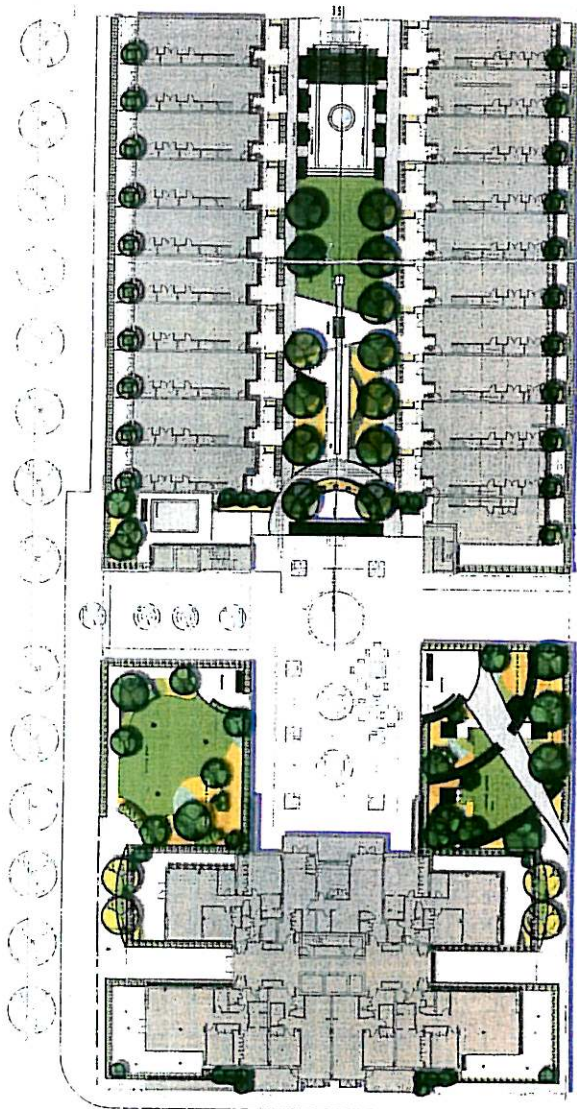
The majority of units are designed as through-units, allowing for both daylighting and passive ventilation from two sides in typical units or three sides in corner units. This strategy is intended to maximize the amount of daylight, views, and cross ventilation in all regularly occupied spaces.

A high level of indoor air quality will be achieved through the specification of low VOC paints, adhesives, sealants, and flooring materials. Wood case goods will be low-emitting and will not contain any added urea-formaldehyde.

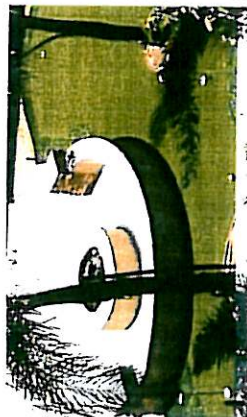
5.0 LANDSCAPE

The main principles of the landscape design are founded on the marriage between the creation of a strong and understandable sequence of spatial experiences with the fundamentals of sustainable design. The landscape presents itself as a sequence of increasingly private spaces beginning with the public street frontages and the ground level courtyard, to the semi-public residential amenity spaces, and to the private terraces on the podium level. All plant material has been selected for its regional character and its ability to withstand periods of drought. Storm water detention will be handled to a great extent on site.

The ground level courtyard provides shoppers and residential guests with an inviting urban space that can accommodate a range of uses from general seating to temporary market set up areas. Seating is provided on broad benches, a central pool provides a focus for the space, and central trees provide vertical scale. The north podium has two wings of different character. The east wing consists of a putting green and an adjacent seating area while the west wing consists of a range of gathering spaces for a range of group sizes. The residential units on this level have large terraces raised above the semi-public spaces. The south podium continues the axial geometry with a water rill running down the centre of the main open space. There are three sub-spaces providing for a range of uses; a soft landscape zone, a formal lawn, and a paved communal space. Each private terrace has an entry gate from the collector path.



Level 3 Podium: Landscape Plan



Putting green



Grass & pavers



Public seating



Arbor with outdoor fireplace

SCHEDULE "C"

3000 PANDOSY STREET, KELOWNA, BC